Building Information - Brunswick City (43661) - Brunswick High

Program Type Classroom Facilities Assistance Program (CFAP) - Regular

Setting Suburban

Assessment Name Copy 3 of Brunswick_High_School_02_08_17

Assessment Date (on-site; non-EEA) 2016-07-13
Kitchen Type Full Kitchen
Cost Set: 2022

Building Name Brunswick High

Building IRN 3970

Building Address 3581 Center Rd
Building City Brunswick
Building Zipcode 44212

Building Phone 330-273-0230

 Acreage
 86.26

 Current Grades:
 9-12

 Teaching Stations
 128

 Number of Floors
 1

 Student Capacity
 1888

 Current Enrollment
 2226

Enrollment Date 2016-06-20

Enrollment Date is the date in which the current enrollment was taken.

Number of Classrooms 120
Historical Register NO

Building's Principal Mike Draves

Building Type High

Next Page

North elevation photo:







South elevation photo:

West elevation photo:





GENERAL DESCRIPTION

331,547 Total Existing Square Footage

1967,1967,1967,1970,1970,1975,1975,1975,1976,1981,1981,1981,1981,1981,2002,2002 Building Dates

9-12 Grades

2,226 Current Enrollment

128 Teaching Stations

86.26 Site Acreage

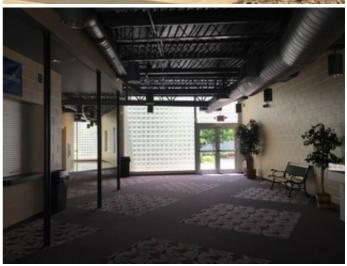
Brunswick High School, which is not on the National Register of Historic Buildings, is a one-story education facility totaling 339,925 sf. The complex includes several mezzanine levels at various building additions. The Original East Building of 98,963 sf was constructed in 1967. The East Wing Addition of 37,509 sf was added to the structure in 1970. The Original West Building of 71,272 sf was constructed on the campus as a separate stand-alone structure in 1975. The East Weight Room Addition of 5,718 sf was constructed in 1976. The Center Building Addition totaling 64,731 sf was constructed in 1981 and united the Original East and West Buildings into one structure. The West Wing Addition of 21,033 sf was also added to the complex in 1981 and the Performing Arts Center Addition totaling 32,772 sf was constructed in 2002. The facility contains one (1) Gymnasium of 9,206 sf, an Upper Gymnasium mezzanine level of 4,310 sf, one (1) Auxiliary Gymnasium of 7,588 sf, two (2) Student Dining Areas of 5,317 sf and 3,858 sf, two (2) Kitchens of 2,833 sf and 1,461 sf, one (1) Media Center of 10,813 sf, two (2) Auditoriums with 7,038 sf and 1,707 sf of fixed seating area, and District Board Offices totaling 10,156 sf. Brunswick High School currently provides space for Grades 9 thru 12. The complex provides partial accessibility, but does not fully conform to the provisions of the Americans with Disabilities Act (ADA) or ANSI guidelines. Typical classrooms vary in size throughout the complex, but the majority of classroom spaces are undersized and do not conform to the current standards established by the State of Ohio. The existing facility features conventional classroom design and does not utilize modular buildings. A portion of the Classrooms and Corridors of the 1975 and 1981 Additions are constructed with demountable partitions. The School is located on an 86.26-acre campus site shared with Towslee Elementary and District maintenance facilities in a suburban commercial setting. School buses load/unload along a separated drive that shares a common point of ingress/egress with vehicular traffic and public access to adjoining City facilities. The existing structure has a brick, split face concrete masonry unit and metal siding exterior and is constructed with load bearing walls and steel framing with joist deck framing, pre-fabricated concrete deck, and slab-on-grade construction. The roof systems for the overall complex are a combination of a coal tar built-up system installed in 1967, a GRM membrane system installed in 1981, metal batten seam roofs, PVC systems installed in 2002, 2008 and 2009, and a 2-ply modified bitumen system installed in 2015 and 2016.

The ventilation system at the majority of the complex, excluding the 2002 PAC Addition, is inadequate to meet the needs of the users. The majority of the complex is equipped with an air conditioning system. The electrical service for the facility was updated in 2002. The facility is outfitted with a limited security system and a compliant automatic fire alarm system. The 2002 PAC Addition is equipped with an automatic fire suppression system, but the remaining areas of the complex are not equipped with a fire suppression system. The building, excluding the 1981 and 2002 PAC additions, is reported to contain asbestos and other hazardous materials.

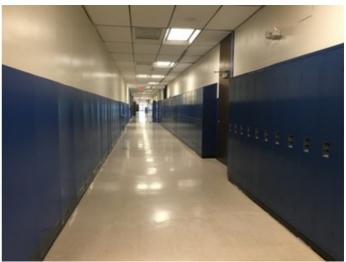














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Building Construction Information - Brunswick City (43661) - Brunswick High (3970)

Name	Year	Handicapped Access	Floors	Square Feet	Non OSDM Addition	Built Under ELPP
Original East Building	1967	no	1	93,386	no	no
Original East Building Gym. Mezzanine	1967	no	1	4,310	yes	no
Original East Building I.S. Mezzanine	1967	no	1	1,267	no	no
East Wing Addition	1970	no	1	36,646	no	no
East Wing Addition I.S. Mezzanine	1970	no	1	863	no	no
Original West Building	1975	no	1	68,505	no	no
Original West Building Auditorum	1975	no	1	2,399	yes	no
Original West Building Greenhouse	1975	no	1	363	no	no
East Weight Room Addition	1976	no	1	5,718	yes	no
Center Building Addition	1981	no	1	64,731	no	no
East Classroom Addition	1981	no	1	7,122	no	no
East Classroom Addition Mezzanine	1981	no	1	805	no	no
West Wing Addition	1981	yes	1	7,263	no	no
West Wing Addition Board Offices	1981	no	1	13,770	yes	no
Performing Arts Center	2002	no	1	16,344	yes	no
Performing Arts Center Seating	2002	yes	1	8,055	yes	no

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Building Component Information - Brunswick City (43661) - Brunswick High (3970)

Addition	Auditorium Fixed Seating	Corridors	Agricultural Education Lab	Primary Gymnasium	Media Center	Vocational Space	Student Dining	Kitchen	Natatorium	Indoor Tracks	Adult Education	Board Offices	Outside Agencies	Auxiliary Gymnasium
Original East Building (1967)		17688		9206			5271	2833						
Original East Building Gym. Mezzanine (1967)		159												
Original East Building I.S. Mezzanine (1967)														
East Wing Addition (1970)		7338					46							
East Wing Addition I.S. Mezzanine (1970)														
Original West Building (1975)		11214					3858	1461						7588
Original West Building Auditorum (1975)	1707	34												
Original West Building Greenhouse (1975)														
East Weight Room Addition (1976)														
Center Building Addition (1981)		11889			10813									
East Classroom Addition (1981)		488												
East Classroom Addition Mezzanine (1981)														
West Wing Addition (1981)		2374												
West Wing Addition Board Offices (1981)		2707										10156		
Performing Arts Center (2002)		5125												
Performing Arts Center Seating (2002)	8055													
Total	9,762	59,016	0	9,206	10,813	0	9,175	4,294	0	0	0	10,156	0	7,588

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Existing CT Programs for Assessment

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Program Type Program Name Related Space Square Feet
No Records Found

Legend:

Not in current design manual

In current design manual but missing from assessment

Building Summary - Brunswick High (3970)

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
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Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Δ	Acreage:		86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	eaching Statio	ne.	128	Suitability Appraisal Sulfilliary				
Current Enrollment	2226	-	Classrooms:	113.	120	Section	Points Possible	Points Earned	l Percentage I	Rating Category
Projected Enrollment	N/A		714331001113.		120	Cover Sheet	_	_	_	
Addition	Date	Н	A Number of	Curre	nt Square	1.0 The School Site	100	88	88%	Satisfactory
Addition	Bato	"	Floors		Feet	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1			4.0 Building Safety and Security	200	165	83%	Satisfactory
<u>Mezzanine</u>						5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S.	1967	no no	1		1,267	6.0 Environment for Education	200	161	81%	Satisfactory
Mezzanine	4070	+				LEED Observations	_	_	_	_ 1
East Wing Addition	1970	_			36,646	Commentary	_	_	_	_
East Wing Addition I.S. Mezzanine	1970	no	1		863	Total	1000	801	80%	Satisfactory
Original West Building	1975	ino	1		68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	mates		
Original West Building Auditorum	1975	_			2,399	C=Under Contract				
Original West Building	1975	ino) 1		363					
Greenhouse	.5,5		'		000	Renovation Cost Factor Cost to Renovate (Cost Factor applied)				110.06% \$93,106,996.98
East Weight Room Addition	1976	no	1		5,718	The Replacement Cost Per SF and the I	Renovate/Replac	e ratio are onlv	provided when	
Center Building Addition	1981	no	1			requested from a Master Plan.		")		,
East Classroom Addition	1981	no	1		7,122					
East Classroom Addition	1981	no	1		805					
Mezzanine Mezzanine		_								
West Wing Addition	1981	+-			7,263					
West Wing Addition Board Offices	1981	no	1		13,770					
Performing Arts Center	2002	2 no) 1		16,344					
Performing Arts Center	2002	ye	es 1		8,055					
Seating Total					331,547					
	Jandica	nnc	ed Access		331,347					
	Satisfact	• •								
_	leeds F	_								
		_	lacement							
*Const P/S = F				ruction						
FACILITY ASSESS		00.		dollon	Dollar					
Cost Set: 202			Rating	Asse	essment C					
A. Heating System			3	\$18,436	6,442.44 -					
B. Roofing			3	\$4,357	7,125.54 -					
C. Ventilation / Air Condit	ioning		2	\$17	7,590.50 -					
D. Electrical Systems			3	\$10,589	,113.46 -					
E. Plumbing and Fixtures	_		3	\$2,469	9,916.12 -					
F. Windows			3		9,145.54 -					
G. Structure: Foundation			2),597.85 -					
H. Structure: Walls and C		<u>'S</u>	2		1,388.80 -					
I. Structure: Floors and F	Roofs		1		5,826.00 -					
J. General Finishes			3		9,911.94 -					
K. Interior Lighting			3),467.76 -					
L. Security Systems	.it		3		5,276.97 -					
M. Emergency/Egress Lig	nting		3		7,909.99 -					
N. Fire Alarm			3		7,045.44 -					
O. Handicapped Access P. Site Condition			3 2		3,810.45 - 7,793.71 -					
Q. Sewage System			1	φυ,427	\$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3	\$267	7,375.60 -					
T. Hazardous Material			3		5,524.43					
U. Life Safety			3		,481.70 -					
V. Loose Furnishings			3),467.76 -					
W. Technology			3		9,910.86 -					
- X. Construction Continge	ncy /		-		9,458.08 -					
Non-Construction Cos										
Total				\$84,596	5,580.94					

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Original East Building (1967) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
Name:	Brunswick High	Contact:	Mike Draves	
Address:	3581 Center Rd	Phone:	330-273-0230	

Current Grades	Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory
Current Enrollment 2226 Classrooms: 120 Section Points Possible Points Earned Percentage Ration	Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory
Projected Enrollment N/A	Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory
Addition	Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory 110.06%
Process Feet 2.0 Structural and Mechanical Features 200 154 77%	Satisfactory Satisfactory Satisfactory Satisfactory Satisfactory 110.06%
Original East Building Gym. 1967 no 1 4,310 Mezzanine 4,310 Suilding Safety and Security 200 165 83% 5.0 Educational Adequacy 200 153 77% 77% 77% 77% 77% 77% 77% 77% 77% 77%	Satisfactory Satisfactory Satisfactory Satisfactory 110.06%
Mezzanine 5.0 Educational Adequacy 200 153 77% Original East Building I.S. 1967 no 1 1,267 6.0 Environment for Education 200 161 81% Mezzanine 1970 no 1 36,646 1970 no 1 1970 no 1 863 1970 no 1 1970 no 1 863 1000 no 801 no 80% 1000 no 801 no 80% 1000 no 801 no 80% 1000 no 1000 no<	Satisfactory Satisfactory Satisfactory 110.06%
Original East Building I.S. 1967 no 1 1,267 Mezzanine 6.0 Environment for Education 200 161 81% East Wing Addition 1970 no 1 36,646 363 3646 363 3646 363 3646 363 3646 364	Satisfactory Satisfactory
Mezzanine LEED Observations LEED Observa	Satisfactory
East Wing Addition 1970 no 1 36,646 Commentary Commentary Commentary Total 1000 801 80% Original West Building Original West Building Addition 1975 no 1 68,505 60% Enhanced Environmental Hazards Assessment Cost Estimates Original West Building Addition 1975 no 1 2,399 70% C=Under Contract Original West Building Greenhouse 1975 no 1 363 70% Renovation Cost Factor Cost to Renovate (Cost Factor applied) \$363 70% Renovation Cost Factor applied) \$363 70% The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this dequested from a Master Plan.	Satisfactory
East Wing Addition I.S. 1970 no 1 863 Mezzanine Total 1000 801 80% Original West Building Addition 1975 no 1 68,505 Inhanced Environmental Hazards Assessment Cost Estimates Call Inhanced Environmental Hazards Assessment Cost Estimates Ca	110.06%
Original West Building Original West Building Auditorum Original West Building Greenhouse Enhanced Environmental Hazards Assessment Cost Estimates C=Under Contract Cost to Renovate (Cost Factor applied) \$363 East Weight Room Addition 1976 no 1 5,718 Center Building Addition 1981 no 1 64,731 Enhanced Environmental Hazards Assessment Cost Estimates C=Under Contract Cost to Renovation Cost Factor Cost to Renovate (Cost Factor applied) \$363 The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this requested from a Master Plan.	110.06%
Original West Building Auditorum Original West Building Greenhouse East Weight Room Addition 1976 no 1 363 Renovation Cost Factor Cost to Renovate (Cost Factor applied) State Weight Room Addition 1976 no 1 5,718 Center Building Addition 1981 no 1 64,731 requested from a Master Plan.	
Auditorum Original West Building Greenhouse East Weight Room Addition Center Building Addition 1976 no 1 5,718 Center Building Addition 1981 no 1 64,731 Center Building Addition Center Building Center Cente	
Original West Building 1975 no 1 363 Renovation Cost Factor Cost to Renovate (Cost Factor applied) \$3 East Weight Room Addition 1976 no 1 5,718 Center Building Addition 1981 no 1 64,731 requested from a Master Plan.	
Greenhouse Cost to Renovate (Cost Factor applied) \$3 East Weight Room Addition 1976 no 1 5,718 The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this Center Building Addition 1981 no 1 64,731 requested from a Master Plan.	
East Weight Room Addition 1976 no 1 5,718 The Replacement Cost for Renovate (Cost for Ren	
Center Building Addition 1981 no 1 64,731 requested from a Master Plan.	30,146,072.34 s summary is
	Janniary 13
East Classroom Addition 1981 no 1 805	
Mezzanine Mezzanine	
West Wing Addition 1981 yes 1 7,263	
West Wing Addition Board 1981 no 1 13,770	
Offices Performing Arts Center 2002 no 1 16,344	
Performing Arts Center 2002 yes 1 8,055	
Seating Seating	
Total 331,547	
*HA = Handicapped Access	
*Rating =1 Satisfactory	
=2 Needs Repair	
=3 Needs Replacement	
*Const P/S = Present/Scheduled Construction	
FACILITY ASSESSMENT Dollar Cost Set: 2022 Rating Assessment C	
Assessment Cost Set. 2022	
6 B. Roofing 3 \$2,296,849.62 -	
C. Ventilation / Air Conditioning 2 \$0.00 -	
© D. Electrical Systems 3 \$3,214,346.12 -	
E. Plumbing and Fixtures 3 \$1,008,983.18 -	
F. Windows 3 \$306,666.00 -	
G. Structure: Foundation 2 \$0.00 -	
H. Structure: Walls and Chimneys 2 \$231,598.84 -	
I. Structure: Floors and Roofs 1 \$0.00 -	
<u>General Finishes</u> 3 \$3,717,418.47 -	
K. Interior Lighting 3 \$711,601.32 -	
L. <u>Security Systems</u> 3 \$421,170.86 -	
M. Emergency/Egress Lighting 3 \$109,261.62 -	
M. Fire Alarm 3 \$328,718.72 -	
Co. Handicapped Access 3 \$551,187.37 - P. Site Condition 2 \$1,229,976.82 -	
☐ Q. Sewage System 1 \$0.00 - ☐ R. Water Supply 1 \$0.00 -	
N. Water Supply	
T. Hazardous Material 3 \$313,094.31 -	
U. Life Safety 3 \$474,538.40 -	
☑ V. Loose Furnishings 3 \$711,601.32 -	
W. <u>Technology</u> 3 \$875,960.68 -	
- X. Construction Contingency / - \$5,377,790.51	
Non-Construction Cost Von-Construction Cost	
Total \$27,390,579.99	Ì

Original East Building Gym. Mezzanine (1967) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Acreag	۵.	86.26	Suitability Appraisal Summary				
Proposed Grades	9-12 N/A		e: ng Stations:	128	Juliability Applaisal Sulfiffially				
Current Enrollment	2226	Classro		120	Onether	Points	Points	D	Rating
Projected Enrollment	N/A	J.43310	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	120	Section	Possible	Earned	Percentage	Category
Addition	Date	HA N	lumber of	Current Square	Cover Sheet	_	_	_	_
			Floors	Feet	1.0 The School Site	88 154	88%	Satisfactory	
Original East Building	1967	no	1	93,386		77%	Satisfactory		
Original East Building Gym.	1967	no	1	4,310	<u>Features</u> 3.0 Plant Maintainability	100	80	80%	Satisfactory
Mezzanine	1007		4	1.007	4.0 Building Safety and Security	200	165	83%	Satisfactory
Original East Building I.S. Mezzanine	1967	110	1	1,267	5.0 Educational Adequacy	200	153	77%	Satisfactory
East Wing Addition	1970	no	1	36,646	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition I.S.	1970		1		LEED Observations	_	_	_	_
<u>Mezzanine</u>					Commentary	_	_	_	_
Original West Building	1975		1	68,505	Total	1000	801	80%	Satisfactory
Original West Building Auditorum	1975	no	1	2,399	Enhanced Environmental Hazards Ass	essment Cost Esti	mates		
Original West Building	1975	no	1	363					
Greenhouse	13/3			505	C=Under Contract				
East Weight Room Addition	1976	no	1	5,718	Renovation Cost Factor				110.06%
Center Building Addition	1981	no	1	- , -	Cost to Renovate (Cost Factor applied)				\$1,187,824.52
East Classroom Addition	1981	no	1	7,122	The Replacement Cost Per SF and the requested from a Master Plan.	: Henovate/Replace	e ratio are onl	y provided when	this summary is
East Classroom Addition	1981	no	1	805	eguesieu nom a mastel Flatt.				
Mezzanine West Wing Addition	1001		-	7.000					
West Wing Addition West Wing Addition Board	1981 1981	-	1	7,263 13,770					
Offices	1901	110	'	13,770					
Performing Arts Center	2002	no	1	16,344					
Performing Arts Center Seatin	g 2002	yes	1	8,055					
<u>Total</u>				331,547					
	andicap	ped Acc	cess						
	atisfacto	•							
	eeds Re	•							
	eeds Re	•							
*Const P/S = P		chedule	ed Construct						
FACILITY ASSESS Cost Set: 2022			Rating	Dollar Assessment C					
A. Heating System			3	\$252,695.30 -					l
B. Roofing			3	\$21,489.00 -					l
C. Ventilation / Air Condi	itioning		2	\$0.00 -					
D. Electrical Systems			3	\$148,350.20 -					l
E. Plumbing and Fixtures			3	\$35,342.00 -					
F. Windows			3	\$0.00 -					
G. Structure: Foundation			2	\$0.00 -					
H. Structure: Walls and C		<u>/S</u>	2	\$0.00 -					
I. Structure: Floors and R	<u>oofs</u>		1	\$0.00 -					
J. General Finishes			3	\$135,721.90 -					
K. Interior Lighting L. Security Systems			3	\$32,842.20 - \$19,438.10 -					
L. Security SystemsM. Emergency/Egress Light	nting		3	\$19,438.10 -					
N. Fire Alarm	iany		3	\$15,171.20 -					
O. Handicapped Access			3	\$27,728.86 -					l
P. Site Condition			2	\$31,059.13 -					
C Sewage System			1	\$0.00 -					
R. Water Supply			1	\$0.00 -					l
S. Exterior Doors			3	\$47,494.35 -					
T. Hazardous Material			3	\$2,745.55 -					
U. Life Safety			3	\$18,964.00 -					
V. Loose Furnishings			3	\$32,842.20 -					
W. Technology			3	\$40,427.80 -					
- X. Construction Contingen	icy /		-	\$211,897.30 -					l
Non-Construction Cost			1	¢1 070 251 70					
Total				\$1,079,251.79					

Original East Building I.S. Mezzanine (1967) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Ac	reage:		86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	+	eaching Stations		128	у применя прим				
Current Enrollment	2226	_	assrooms:	-	120	Section	Points Possible	Points Earned	l Percentage I	Rating Category
Projected Enrollment	N/A					Cover Sheet	_	_	_	_
Addition	Date	НА	Number of	Current	Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors		<u>eet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
<u>Mezzanine</u>		_				5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1		1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	-	1		863	<u>Commentary</u>	_	_		_
Mezzanine	1370	110	•		000	Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1		68,505	Enhanced Environmental Hazards Asse	essment Cost Estin	<u>nates</u>		
Original West Building Auditorum	1975	no	1		2,399	C=Under Contract				
Original West Building Greenhouse	1975	no	1			Renovation Cost Factor				110.06%
East Weight Room Addition	1976	no	1		5,718	Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Renovate/Renlace	ratio are only	provided when	\$495,461.00 this summary is
Center Building Addition	1981	_	1		64,731	requested from a Master Plan.				5 55
East Classroom Addition	1981	no	1		7,122					
East Classroom Addition Mezzanine	1981	no	1		805					
West Wing Addition	1981	yes	1		7,263					
West Wing Addition Board Offices	1981	no	1		13,770					
Performing Arts Center	2002	no	1		16,344					
Performing Arts Center Seating	2002	yes	1		8,055					
Total					331,547					
*HA = H	landica	ppe	d Access							
*Rating =1 S	atisfact	ory								
=2 N	leeds R	lepa	ir							
=3 N	leeds R	epla	acement							
*Const P/S = P	resent/	Sch	eduled Constru	ction						
FACILITY ASSESS				_	Dollar					
Cost Set: 202	22		Rating		sment C					
A. Heating System			3	, ,	284.21 -					
B. Roofing	!!#! !	_	3	\$87,	984.00 -					
C. Ventilation / Air Cond	nitionin	g	2	Φ40.	\$0.00 -					
D. Electrical Systems E. Plumbing and Fixtures			3 3		610.14 - 389.40 -					
F. Windows			3	φ10,	\$0.00 -					
G. Structure: Foundatio	n		2		\$0.00 -					
H. Structure: Walls and		eve			\$0.00 -					
I. Structure: Floors and F		<u> </u>	1		\$0.00 -					
J. General Finishes	.5510		3	\$39.8	397.83 -					
K. Interior Lighting			3		654.54 -					
L. Security Systems			3		714.17 -					
M. Emergency/Egress Lig	hting		3		482.39 -					
N. Fire Alarm			3		459.84 -					
O. Handicapped Access			3		381.91 -					
P. Site Condition			2		436.45 -					
C Sewage System			1		\$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3		\$0.00 -					
T. Hazardous Material			3	\$	152.04 -					
U. Life Safety			3	\$17,3	301.80 -					
V. Loose Furnishings			3	\$9,6	654.54 -					
W. Technology			3	\$11,8	384.46 -					
- X. Construction Continge			-	\$88,3	385.83 -					
Non-Construction Cos	<u>t</u>									
Total				\$450,	173.55					

East Wing Addition (1970) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
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Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	٨٥	reage:	86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations		Sultability Appraisal Sulfilliary				
Current Enrollment	2226		assrooms:	120	Section	Points Possible	e Points Earned	Percentage	Rating Category
Projected Enrollment	N/A	1			Cover Sheet	_	_	_	_
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	_	1		3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine Original East Building I.S.	1967	, no	1	1,267	5.0 Educational Adequacy	200	153	77%	Satisfactory
Mezzanine	1307	110	'	1,207	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	no	1	863	<u>Commentary</u> Total	1000	801	80%	— Satisfactory
Mezzanine					Enhanced Environmental Hazards Asses			00 /6	Salisiaciory
Original West Building	1975	_	1	68,505	Emiraneed Environmental Hazards 733es	SSITION COST ES	timates		
Original West Building Auditorum	1975	no	1	2,399	C=Under Contract				
Original West Building	1975	no	1	363	Denover the Control of the Control				110.000/
<u>Greenhouse</u>					Renovation Cost Factor Cost to Renovate (Cost Factor applied)				110.06% \$11,124,414.61
East Weight Room Addition	1976	_	1	5,718	The Replacement Cost Per SF and the F	Renovate/Replac	ce ratio are only p	provided wher	
Center Building Addition	1981	_	1		requested from a Master Plan.				
East Classroom Addition	1981	_	1	7,122					
East Classroom Addition Mezzanine	1981	no	1	805					
West Wing Addition	1981	Ves	1	7,263					
West Wing Addition Board	1981	· -	1	13,770					
Offices			-	,,,,,,					
Performing Arts Center	2002	no	1	16,344					
Performing Arts Center	2002	yes	1	8,055					
<u>Seating</u>				221 547					
Total *HA =	Handica	nnoc	d Access	<u>331,547</u>					
	Satisfact	<u> </u>	a Access						
	Needs F		ir						
			acement						
*Const P/S =	Present/	Sche	eduled Construc	ction					
FACILITY ASSES	SMENT			Dollar					
Cost Set: 202	22		Rating	Assessment C					
A. Heating System			3	\$2,148,554.98 -					
B. Roofing			3	\$877,022.90 -					
C. Ventilation / Air Condi	tioning		3	\$17,590.50 - \$1,261,355.32 -					
E. Plumbing and Fixtures			3	\$423,396.16 -					
F. Windows	<u>.</u>		3	\$171,489.60 -					
G. Structure: Foundation	n		2	\$0.00 -					
H. Structure: Walls and (S	2	\$86,599.84 -					
I. Structure: Floors and			1	\$0.00 -					
J. General Finishes			3	\$1,238,462.54 -					
K. Interior Lighting			3	\$279,242.52 -					
L. Security Systems			3	\$165,273.46 -					
M. Emergency/Egress Li	ghting		3	\$42,875.82 -					
N. Fire Alarm			3	\$128,993.92 -					
O. Handicapped Access P. Site Condition			3	\$80,315.09 -					
			1	\$296,097.57 -					
C Sewage System R. Water Supply			1	\$0.00 - \$0.00 -					
S. Exterior Doors			3	\$35,181.00 -					
T. Hazardous Material			3	\$77,618.96 -					
U. Life Safety			3	\$170,042.40 -					
V. Loose Furnishings			3	\$279,242.52 -					
W. Technology			3	\$343,739.48 -					
- X. Construction Continge			-	\$1,984,496.38 -					
Non-Construction Cos	<u>st</u>								
Total			;	\$10,107,590.96					

East Wing Addition I.S. Mezzanine (1970) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Ac	reage:	8	36.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations		128	Canadany Appraida Caninary				
Current Enrollment	2226	_	assrooms:		120	Section	Points Possible	Points Earned	l Percentage I	Rating Category
Projected Enrollment	N/A	1				Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current S	Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	Fee	<u>et</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine	1	_	<u> </u>			5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1		1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	-	1		863	Commentary				_
Mezzanine			-			Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1		68,505	Enhanced Environmental Hazards Asset	ssment Cost Estin	<u>nates</u>		
Original West Building Auditorum	1975	no	1		2,399	C=Under Contract				
Original West Building	1975	no	1		363	Renovation Cost Factor				110.06%
<u>Greenhouse</u>	\perp					Cost to Renovate (Cost Factor applied)				\$536,972.31
East Weight Room Addition	1976	_	1		5,718	The Replacement Cost Per SF and the F	Renovate/Replace	ratio are only p	provided when	this summary is
Center Building Addition	1981	-	1			requested from a Master Plan.				
East Classroom Addition	1981	_	1		7,122					
East Classroom Addition Mezzanine	1981	no	1		805					
West Wing Addition	1981	VAS	1		7,263					
West Wing Addition West Wing Addition Board	1981	-	1		13,770					
Offices	1301				10,770					
Performing Arts Center	2002	no	1		16,344					
Performing Arts Center	2002	yes	1		8,055					
<u>Seating</u>										
<u>Total</u>				3	331,547					
		• • •	d Access	_						
	atisfact		ir	_						
	eeds R		acement	_						
*Const P/S = P				etion						
FACILITY ASSESS			sauled Constitut		Dollar					
Cost Set: 202			Rating	Assess						
A. Heating System			3	\$50,59	97.69 -					
B. Roofing			3	\$	\$0.00 -					
C. Ventilation / Air Cond	litionin	g	2	\$	• 0.00					
D. Electrical Systems			3	\$29,70	04.46 -					
E. Plumbing and Fixtures	-		3	\$7,07	76.60 -					
F. Windows			3		• 0.00					
G. Structure: Foundation			2	\$47,75						
H. Structure: Walls and		<u>eys</u>			\$0.00 -					
I. Structure: Floors and F	<u>loofs</u>		1		\$0.00 -					
J. General Finishes			3	\$167,97						
K. Interior Lighting			3 3		76.06 -					
L. <u>Security Systems</u> M. <u>Emergency/Egress Lig</u>	hting		3	\$3,89 \$1,00						
N. Fire Alarm	nung		3		37.76 -					
O. Handicapped Access			3	\$20,83						
P. Site Condition			2	\$29,19						
C Sewage System			1		\$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3		\$0.00 -					
T. Hazardous Material			3		03.56 -					
U. Life Safety			3		60.70 -					
V. Loose Furnishings			3		76.06 -					
W. Technology			3		94.94 -					
- X. Construction Continger	ncy /		-	\$95,79	91.07 -					
Non-Construction Cost			\longrightarrow	A :						
Total				\$487,89	90.52					

Original West Building (1975) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
Name:	Brunswick High	Contact:	Mike Draves	
Address:	3581 Center Rd	Phone:	330-273-0230	

Current Grades	9-12	٦,	creage:		86.26	Suitability Appraisal Summary				
Proposed Grades	9-12 N/A	_	Acreage: eaching Station	c.	128	Journal Appraisar Sufficially				
Current Enrollment	2226	_	Classrooms:	٥.	120	Section	Points Possible	Points Earned	d Percentage	Rating Category
Projected Enrollment	N/A	_	718331001113.		120	Cover Sheet	_	_		_
Addition	Date	Н	A Number of	Curren	t Square	1.0 The School Site	100	88	88%	Satisfactory
<u>riddition</u>	2410	<u> </u>	Floors		eet	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	nc nc	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gyr	<u>n.</u> 1967	nc nc	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine		_				5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	nc	1		1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970) nc) 1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	-			863	<u>Commentary</u>				_
<u>Mezzanine</u>						Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1		68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	<u>mates</u>		
Original West Building	1975	nc	1		2,399	C=Under Contract				
Auditorum Original West Building	1975) 1							
Greenhouse	1975	חוכ) '		303	Renovation Cost Factor				110.06%
East Weight Room Addition	n 1976	nc) 1		5,718	Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Renovate/Renlac	e ratio are only	nrovided when	\$19,870,105.20
Center Building Addition	1981	nc) 1		64,731	requested from a Master Plan.	Terrovate/Tieplae	c ratio are only	provided when	tillo Sullilliary IS
East Classroom Addition	1981	-			7,122					
East Classroom Addition	1981	nc	1		805					
<u>Mezzanine</u>		_								
West Wing Addition	1981	+-			7,263					
West Wing Addition Board Offices	1981	nc	1		13,770					
Performing Arts Center	2002	nc) 1		16,344					
Performing Arts Center	2002	-			8,055					
Seating Seating	2002	,			0,000					
<u>Total</u>			•		331,547					
*HA =	= Handica	ppe	ed Access							
*Rating =	■1 Satisfact	tory	/							
	2 Needs F	_								
	3 Needs F									
		/Sc	heduled Constru	ıction	5 "					
FACILITY ASSE Cost Set: 2			Rating	Δοορ	Dollar ssment C					
A. Heating System	LULL		3	\$4,016,						
B. Roofing			3		194.60 -					
C. Ventilation / Air Co	onditionin	g	2	* .	\$0.00 -					
D. Electrical Systems		_	3	\$2,357,	942.10 -					
E. Plumbing and Fixtu	<u>ires</u>		3	\$721,	814.55 -					
F. Windows			3	\$108,	824.50 -					
G. Structure: Foundati			2	\$22,	- 00.008					
H. Structure: Walls an		<u>'S</u>	2		470.44 -					
I. Structure: Floors ar	nd Roofs		1		826.00 -					
J. General Finishes			3		743.49 -					
K. Interior Lighting			3		008.10 -					
L. Security Systems	I falktina		3		957.55 -					
M. Emergency/Egress N. Fire Alarm	Lighting		3 3		150.85 -					
O. Handicapped Acces			3		137.60 - 863.47 -					
P. Site Condition	<u>55</u>		2		928.13 -					
C. Sewage System			1	Ψ500,	\$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3	\$48.	080.70 -					
T. Hazardous Materia	<u> </u>		3		037.60 -					
U. Life Safety			3	\$301,	422.00 -					
V. Loose Furnishings			3	\$522,	008.10 -					
W. Technology			3	\$642,	576.90 -					
- X. Construction Continuous Non-Construction Construction Cons			-	\$3,544,	649.60 -					
Total			<u> </u>	\$18,053,	884.43					
-										

Original West Building Auditorum (1975) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Ac	reage:	86.	26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations			Calability Appraisal Callinary				
Current Enrollment	2226	-	assrooms:	120		Section	Points Possible	Points Earned	l Percentage I	Rating Category
Projected Enrollment	N/A	1			·	Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current Sq	uare	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>		2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1	93	,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4	,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine	1	_	<u> </u>			5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1	,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36	,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	_	1	00	863	<u>Commentary</u>				_
<u>Mezzanine</u>						Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1	68	,505	Enhanced Environmental Hazards Asse	ssment Cost Estin	<u>nates</u>		
Original West Building	1975	no	1	2	,399	C=Under Contract				
Auditorum	-		<u> </u>							
Original West Building Greenhouse	1975	no	1		363	Renovation Cost Factor				110.06%
East Weight Room Addition	1976	no	1	-		Cost to Renovate (Cost Factor applied)	D //D /			\$698,847.77
Center Building Addition	1981	-	1	6/	721	The Replacement Cost Per SF and the I requested from a Master Plan.	nenovate/Heplace	ratio are only p	oroviaea when	uus summary is
East Classroom Addition	1981	-	1		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	The state of the s				
East Classroom Addition	1981	_	1	,	805					
Mezzanine		Ĺ								
West Wing Addition	1981	yes	1	7	,263					
West Wing Addition Board	1981	no	1	13	3,770					
Offices										
Performing Arts Center	2002	-	1		,344					
Performing Arts Center Seating	2002	yes	'	9	,055					
Total				331	,547					
*HA = H	andica	pped	d Access							
*Rating =1 S	atisfact	tory								
=2 N	eeds R	Repa	ir							
=3 N	eeds R	Repla	acement							
*Const P/S = P			eduled Construc							
FACILITY ASSESS Cost Set: 202			Dating	Dol Assessme						
A. Heating System	_		Rating 3	\$140,653.						
B. Roofing			3	\$0.	-					
C. Ventilation / Air Cond	litionin	a	2	\$0.	_					
D. Electrical Systems		9	3	\$82,573.	_					
E. Plumbing and Fixtures			3	\$19,671.	_					
F. Windows	-		3	\$0.	_					
G. Structure: Foundation	<u>n</u>		2	\$0.	00 -					
H. Structure: Walls and C	himney	<u>/S</u>	2	\$36,652.	00 -					
I. Structure: Floors and F	Roofs		1	\$0.	00 -					
J. General Finishes			3	\$101,498.	43 -					
K. Interior Lighting			3	\$18,280.	_					
L. Security Systems			3	\$10,819.						
M. Emergency/Egress Lig	hting		3	\$2,806.						
N. <u>Fire Alarm</u>			3	\$8,444.						
O. Handicapped Access			3	\$12,198.	-					
P. Site Condition			2	\$22,001.	_					
C. Sewage System R. Water Supply			1 1	\$0. \$0.	_					
S. Exterior Doors			3	\$1,289.	-					
T. Hazardous Material			3	\$2,072.	-					
U. Life Safety			3	\$10,555.						
V. Loose Furnishings			3	\$18,280.	_					
M. Technology			3	\$22,502.	_					
- X. Construction Continger	ncy /		-	\$124,668.	-					
Non-Construction Cost										
Total				\$634,969.	81					

Original West Building Greenhouse (1975) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Ac	reage:	1:	86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations		128	Cultability Appraisal Cultimary				
Current Enrollment	2226	_	assrooms:		120	Section	Points Possible	Points Earned	l Percentage I	Rating Category
Projected Enrollment	N/A	1				Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current	Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Fe</u>		2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	_	1			3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine Original East Building I.S.	1967	no	1		1,267	5.0 Educational Adequacy	200	153	77%	Satisfactory
Mezzanine	1907	110	'		1,207	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	no	1		863	<u>Commentary</u>	_	_	_	_
<u>Mezzanine</u>						Total	1000	801	80%	Satisfactory
Original West Building	1975	_	1		68,505	Enhanced Environmental Hazards Asse	ssment Cost Estin	nates		
Original West Building Auditorum	1975	no	1		2,399	C=Under Contract				
Original West Building	1975	no	1		262					
Greenhouse	1973		'		303	Renovation Cost Factor Cost to Renovate (Cost Factor applied)				110.06% \$134,544.50
East Weight Room Addition	1976	no	1		5,718	The Replacement Cost Per SF and the I	Renovate/Renlace	ratio are only i	provided when	
Center Building Addition	1981	no	1		64,731	requested from a Master Plan.	ποποναιοπιορίασο	rane are erry p	oronaca mnom	o cammay io
East Classroom Addition	1981	no	1		7,122					
East Classroom Addition	1981	no	1		805					
<u>Mezzanine</u>										
West Wing Addition	1981	-			7,263					
West Wing Addition Board Offices	1981	no	1		13,770					
Performing Arts Center	2002	no	1		16,344					
Performing Arts Center	2002	_			8,055					
<u>Seating</u>	-002	, 55			0,000					
<u>Total</u>	•				331,547					
*HA = H:	andica	pped	d Access							
*Rating =1 Sa	atisfact	ory								
=2 N	eeds R	lepai	ir							
			cement							
*Const P/S = Pr		Sche	eduled Constru							
FACILITY ASSESS Cost Set: 2022			Rating		Dollar sment C					
A. Heating System			3	\$21,2						
B. Roofing			3		\$0.00 -					
C. Ventilation / Air Cond	itionin	a	2		\$0.00 -					
D. Electrical Systems			3	\$12,4						
E. Plumbing and Fixtures			3	\$2,9	76.60 -					
F. Windows			3	\$36,1	83.84 -					
G. Structure: Foundation	1		2		\$0.00 -					
H. Structure: Walls and		<u>eys</u>	2		\$0.00 -					
I. Structure: Floors and R	loofs		1		\$0.00 -					
J. General Finishes			3		\$0.00 -					
K. Interior Lighting			3		66.06 -					
L. Security Systems			3		37.13 -					
M. Emergency/Egress Ligi	nting		3		24.71 -					
N. Fire Alarm			3		77.76 -					
O. Handicapped Access P. Site Condition			3 2		32.51 -					
P. Site Condition C Q. Sewage System			1		57.44 - \$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3		\$0.00 -					
T. Hazardous Material			3		43.56 -					
U. Life Safety			3		97.20 -					
V. Loose Furnishings			3		66.06 -					
W. Technology			3		04.94 -					
- X. Construction Continger	ncy /		-	\$24,0						
Non-Construction Cost										
Total				\$122,2	46.50					

East Weight Room Addition (1976) Summary

District: Brunswick City County: Medina Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	٨٥	reage:	86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	-	aching Stations		Sultability Appraisal Sulfilliary				
Current Enrollment	2226	-	assrooms:	120	Section	Points Possible	Points Earned	Percentage	Rating Category
Projected Enrollment	N/A	1		1.20	Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	_	1	93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine	1007		-	1.007	5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	<u>LEED Observations</u>	_	_	_	_
East Wing Addition I.S.	1970	-	1	863	<u>Commentary</u>				
<u>Mezzanine</u>					Total	1000	801	80%	Satisfactory
Original West Building	1975	+	1	68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	<u>mates</u>		
Original West Building	1975	no	1	2,399	C=Under Contract				
Auditorum Original West Building	1975	-	1	202					
Greenhouse	1975	no	'	363	Renovation Cost Factor				110.06%
East Weight Room Addition	n 1976	no	1	5,718	Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Renovate/Replac	e ratio are only r	rovided when	\$1,669,035.43
Center Building Addition	1981	+	1	64,731	requested from a Master Plan.				o odminiary is
East Classroom Addition	1981	_	1	7,122					
East Classroom Addition	1981	+	1	805					
<u>Mezzanine</u>									
West Wing Addition	1981	-	1	7,263					
West Wing Addition Board	1981	no	1	13,770					
Offices Desferming Arts Center	2002		1	10 044					
Performing Arts Center Performing Arts Center	2002	_		16,344 8,055					
Seating Seating	2002	yes	'	0,033					
Total			'	331,547					
*HA =	Handica	pped	d Access						
*Rating =1	Satisfact	tory							
=2	Needs F	lepa	ir						
=3	Needs F	Repla	cement						
		Sch	eduled Constru	ction					
FACILITY ASSES			D. II	Dollar					
Cost Set: 20	22		Rating 3	Assessment C \$335.246.34 -					
B. Roofing			3	\$149,489.74 -					
C. Ventilation / Air Con	ditionin	a	2	\$0.00 -					
D. Electrical Systems	iditioiiiii	9	3	\$196,813.56 -					
E. Plumbing and Fixture	s		3	\$46,887.60 -					
F. Windows	<u>~</u>		3	\$0.00 -					
G. Structure: Foundation	on		2	\$0.00 -					
H. Structure: Walls and	— Chimney	S	2	\$10,316.00 -					
I. Structure: Floors and			1	\$0.00 -					
J. General Finishes			3	\$199,771.82 -					
K. Interior Lighting			3	\$43,571.16 -					
L. Security Systems			3	\$25,788.18 -					
M. Emergency/Egress L	ighting		3	\$6,690.06 -					
N. Fire Alarm			3	\$20,127.36 -					
O. Handicapped Access			3	\$1,315.14 -					
P. Site Condition			2	\$48,607.87 -					
Q. Sewage System			1	\$0.00 -					
R. Water Supply			1	\$0.00 -					
S. Exterior Doors			3	\$7,153.47 -					
T. <u>Hazardous Material</u>			3	\$4,593.23 -					
U. Life Safety			3	\$25,159.20 -					
V. Loose Furnishings			3	\$43,571.16 -					
W. Technology			3	\$53,634.84 -					
- X. Construction Conting Non-Construction Co			-	\$297,741.04 -					
Total				\$1,516,477.77					
				+ . , , . , . , . , . ,					

Center Building Addition (1981) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
Name:	Brunswick High	Contact:	Mike Draves	

Phone: 330-273-0230 Address: 3581 Center Rd Brunswick,OH 44212 Date Prepared: 2016-07-13 By: Tony Schorr

Bldg. IRN: 3970 Date Revised: 2019-06-18 By: Monica Bruaw

Course Contract Contract Contract Course Cour	Current Grades	9-12		\ ora o a a .		86.26	Cuitability Appraisal Cummany				
Control Month 1926 Column 1926 Colum			-		ic:	+	Suitability Appraisal Summary				
Comment Comm	•		-		15.		Section	Points Possible	Points Earned	d Percentage	Rating Category
Addition			+	nassioonis.		120		_	_	_	_
Section Property			Н	A Number of	Curren	t Square	1.0 The School Site	100	88	88%	Satisfactory
Description 1957 to 1	<u>riddition</u>	<u> </u>	· · · ·				2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Maczanina	Original East Building	1967	nc	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Description 1979 1		<u>n.</u> 1967	nc	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
EED Cheerostofos			\perp				5.0 Educational Adequacy	200	153	77%	Satisfactory
East Wine Addition 1970 0 1 886		_ 1967	nc) 1		1,267		200	161	81%	Satisfactory
Section 1970 1		1970	ne	1		36 646	LEED Observations	_	_	_	_
Total Control Contro			-				<u>Commentary</u>	_			_
Common March Bustons 1975 Po						000				80%	Satisfactory
Settlorer Contact Security Settlorer Contact Security Se	Original West Building	1975	no	1		68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	<u>mates</u>		
Proceedings 1975 Pro		1975	no	1		2,399	C=Under Contract				
Seat Neight Room Addition 1976 no 1 5.718 The Replacement Cost Factor applied) 1981 no 1 64.731 sequested from a Master Plan. 1981 no 1 64.731 sequested from a Master Plan. 1981 no 1 64.731 sequested from a Master Plan. 1981 no 1 64.731 sequested from a Master Plan. 1981 no 1 605		1075	i ne	1		363					
Seat Vender Room Addition 1976 no 1 5.718 776 Per Paplacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is Center Business and Addition 1981 no 1 7.725		1973		' '		303	Renovation Cost Factor				
Content Policy 1981 no 1 64,731 requested tom a Master Plan.	East Weight Room Addition	on 1976	no) 1		5,718	The Replacement Cost Per SF and the I	Renovate/Renlac	e ratio are only	nrovided when	\$10,403,550.12 this summary is
East Classroom Addition	-		+			64,731	requested from a Master Plan.	.c.iovato/riopiao	c .ano are only	p. o vidou vviicii	o cammary 13
Mast Wing Addition			-								
West Wing Addition		1981	no	1		805					
Mest Mino Addition Board											
Dilices Performing Arts Center 2002 no			+								
Performing Arts Center		1981	nc) 1		13,770					
Parforming Arts Center 2002 yes 1 8.055 8eating		2002	nc	1		16 344					
Total			-								
THA	Seating		Ĺ								
Fating						331,547					
Page			• •								
Structure: Flora and Roofs Structure: Flo	_										
Const P/S Present/Scheduled Construction FACILITY ASSESSMENT Cost Set: 2022 Rating Assessment C Cost Set: 2022 Rating Assessment C Cost Set: 2022 Rating Assessment C Cost Set: 2022 Rating Sa,795,178,53 Cost Set: 2022 Sa,795,178,53 Cost Set: 2022 Sa,000 Cost Set: 2022 Sa,000 Cost Set: 2023 Sa,795,178,53 Cost Set: 2024 Cost Set: 2		_	·								
FACILITY ASSESSMENT Cost Set: 2022 Rating Assessment C					uotion						
Cost Set: 2022 Rating Assessment C A			30	neduled Constit	action	Dollar					
□ C. Ventilation / Air Conditioning 2 \$0.00 - □ D. Electrical Systems 3 \$2.228.041.02 - □ E. Plumbing and Fixtures 3 \$78.570.90 - □ F. Windows 3 \$144.696.20 - □ G. Structure: Foundation 2 \$120.041.00 - □ H. Structure: Walls and Chimneys 2 \$115.701.60 - □ I. Structure: Floors and Roofs 1 \$0.00 - □ J. General Finishes 3 \$2,166.271.89 - □ K. Interior Lighting 3 \$493.250.22 - □ L. Steaurity Systems 3 \$291.936.81 - □ M. Emergency/Egress Lighting 3 \$75,735.27 - □ N. Fire Alarm 3 \$227.853.12 - □ N. Fire Alarm 3 \$250.008.42 - □ P. Site Condition 2 \$520.008.42 - □ P. Site Condition 2 \$520.032.15 - □ O. Sewage System 1 \$0.00 - □ S. Exterior Doors 3 \$480.80.70 - □ T. Hazardous Material 3 \$35.300.42 - □ U. Life Safety 3 \$284.816.40 - □ V. Loose Furnishings 3 \$493.250.22				Rating	Asse						
G C. Ventilation / Air Conditioning 2 \$0.00 \$ C D. Electrical Systems 3 \$2,228,041.02 - \$ \$ G E. Plumbing and Fixtures 3 \$78,570.90 - \$ \$ G F. Windows 3 \$144,696.20 - \$ \$ G G. Structure: Foundation 2 \$120,041.00 - \$ \$ G H. Structure: Walls and Chimneys 2 \$115,701.60 - \$ \$ G I. Structure: Floors and Roofs 1 \$0.00 - \$ \$ J General Finishes 3 \$2,166,271.89 - \$ \$ G K. Interior Lighting 3 \$493,250.22 - \$ \$ G K. Interior Lighting 3 \$275,735.27 - \$ \$ M Emergency/Egress Lighting 3 \$277,853.12 - \$ \$ M Pire Alarm 3 \$250,008.42 - \$ \$ Q D. Handicapped Access 3 \$250,008.42 - \$ \$ P Site Condition 2 \$522,032.15 - \$ \$ Q D. Sewage System 1 \$0.00 - \$ \$ T Hazardous Material 3 \$35,300.42 - \$ <td>A. Heating System</td> <td></td> <td></td> <td>3</td> <td>\$3,795,</td> <td>178.53 -</td> <td></td> <td></td> <td></td> <td></td> <td></td>	A. Heating System			3	\$3,795,	178.53 -					
© D. Electrical Systems 3 \$2,228,041.02 - Plumbing and Fixtures 3 \$78,570.90 - Windows 3 \$144,696.20 - G. Structure: Foundation 2 \$120,041.00 - Structure: Foundation 2 \$120,041.00 - Structure: Walls and Chimneys 2 \$115,701.60 - G. Structure: Floors and Roofs 1 \$0.00 - G. J. General Finishes 3 \$2,166,271.89 - G. K. Interior Lightling 3 \$493,250.22 - G. K. Interior Lightling 3 \$493,250.22 - G. K. Interior Lightling 3 \$75,735.27 - G. M. Emergency/Egress Lightling 3 \$75,735.27 - G. M. Emergency/Egress Lightling 3 \$227,853.12 - G. Handicapped Access 3 \$250,008.42 - G. P. Site Condition 2 \$522,032.15 - G. P. Site Condition 2 \$522,032.15 - G. M. Exterior Doors 3 \$48,880.70 - G. R. Water Supply 1 \$0.00 - G. R.	B. Roofing			3		\$0.00 -					
□ E. Plumbing and Fixtures 3 \$78,570.90 - □ F. Windows 3 \$144,696.20 - □ G. Structure: Foundation 2 \$120,041.00 - □ H. Structure: Walls and Chimneys 2 \$115,701.60 - □ I. Structure: Floors and Roofs 1 \$0.00 - □ J. General Finishes 3 \$2,166,271.89 - □ K. Interior Lighting 3 \$493,250.22 - □ C. Security Systems 3 \$291,936.81 - □ M. Fire Alarm 3 \$227,853.12 - □ N. Fire Alarm 3 \$227,853.12 - □ O. Handicapped Access 3 \$250,008.42 - □ P. Site Condition 2 \$522,032.15 - □ O. Sewage System 1 \$0.00 - □ R. Water Supply 1 \$0.00 - □ S. Exterior Doors 3 \$48,080.70 - □ J. Hazardous Material 3 \$35,300.42 - □ U. Life Safety<	C. Ventilation / Air Co	<u>onditionin</u>	g	2		\$0.00 -					
F. Windows 3 \$144,696.20 -					\$2,228,	041.02 -					
G. Structure: Foundation 2 \$120,041.00 - H. Structure: Walls and Chimneys 2 \$115,701.60 - J. Structure: Floors and Roofs 1 \$0.00 - J. General Finishes 3 \$2,166,271.89 - K. Interior Lighting 3 \$493,250.22 - C. L. Security Systems 3 \$291,936.81 - C. M. Emergency/Egress Lighting 3 \$75,735.27 - C. N. Fire Alarm 3 \$227,853.12 - C. O. Handicapped Access 3 \$250,008.42 - C. P. Site Condition 2 \$522,032.15 - C. Q. Sewage System 1 \$0.000 - C. Sewage System 1 \$0.000 - C. Sewage System 1 \$0.000 - C. S. Exterior Doors 3 \$48,080.70 - C. T. Hazardous Material 3 \$35,300.42 - C. U. Life Safety 3 \$284,816.40 - C. U. Loose Furnishings 3 \$493,250.22 - C. W. Technology 3 \$607,176.78 - C. Oostruction Contingency / Non-Construction Cost		<u>ires</u>									
H. Structure: Walls and Chimneys 2 \$115,701.60											
□ I. Structure: Floors and Roofs 1 \$0.00 - □ J. General Finishes 3 \$2,166,271.89 - □ K. Interior Lighting 3 \$493,250.22 - □ L. Security Systems 3 \$291,936.81 - □ M. Emergency/Egress Lighting 3 \$75,735.27 - □ N. Fire Alarm 3 \$227,853.12 - □ O. Handicapped Access 3 \$250,008.42 - □ P. Site Condition 2 \$552,032.15 - □ O. Sewage System 1 \$0.00 - □ R. Water Supply 1 \$0.00 - □ S. Exterior Doors 3 \$48,080.70 - □ T. Hazardous Material 3 \$35,300.42 - □ U. Life Safety 3 \$284,816.40 - □ V. Loose Furnishings 3 \$493,250.22 - □ W. Technology - \$2,926,247.08 - Non-Construction Cost - \$2,926,247.08 -											
General Finishes 3 \$2,166,271.89 - K. Interior Lighting 3 \$493,250.22 - L. Security Systems 3 \$291,936.81 - M. Emergency/Egress Lighting 3 \$75,735.27 - N. Fire Alarm 3 \$227,853.12 - O. Handicapped Access 3 \$250,008.42 - P. Site Condition 2 \$522,032.15 - Q. Sewage System 1 \$0.00 - R. Water Supply 1 \$0.00 - S. Exterior Doors 3 \$48,080.70 - T. Hazardous Material 3 \$35,300.42 - T. Hazardous Material 3 \$284,816.40 - T. V. Loose Furnishings 3 \$493,250.22 - W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -			<u>'S</u>		\$115,						
C. K. Interior Lighting 3 \$493,250.22 - - C. L. Security Systems 3 \$291,936.81 - - C. M. Emergency/Egress Lighting 3 \$75,735.27 - - C. N. Fire Alarm 3 \$227,853.12 - - C. O. Handicapped Access 3 \$250,008.42 - - C. P. Site Condition 2 \$522,032.15 - - C. Q. Sewage System 1 \$0.00 - - C. R. Water Supply 1 \$0.00 - - C. S. Exterior Doors 3 \$448,080.70 - - C. T. Hazardous Material 3 \$35,300.42 - - C. U. Life Safety 3 \$284,816.40 - - C. V. Loose Furnishings 3 \$493,250.22 - - C. W. Technology 3 \$607,176.78 - - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -		IU NOOIS			\$2.166						
L. Security Systems 3 \$291,936.81 - M. Emergency/Egress Lighting 3 \$75,735.27 - N. Fire Alarm 3 \$227,853.12 - O. Handicapped Access 3 \$250,008.42 - P. Site Condition 2 \$522,032.15 - O. Sewage System 1 \$0.00 - R. Water Supply 1 \$0.00 - S. Exterior Doors 3 \$48,080.70 - T. Hazardous Material 3 \$35,300.42 - U. Life Safety 3 \$284,816.40 - V. Loose Furnishings 3 \$493,250.22 - W. Technology 3 \$607,176.78 - X. Construction Contingency / Non-Construction Cost											
M. Emergency/Egress Lighting 3 \$75,735.27 - N. Fire Alarm 3 \$227,853.12 - 0 O. Handicapped Access 3 \$250,008.42 - P. Site Condition 2 \$522,032.15 - 0 Q. Sewage System 1 \$0.00 - R. Water Supply 1 \$0.00 - S. Exterior Doors 3 \$48,080.70 - T. Hazardous Material 3 \$35,300.42 - U. Life Safety 3 \$284,816.40 - V. Loose Furnishings 3 \$493,250.22 - W. Technology 3 \$607,176.78 - X. Construction Contingency / Non-Construction Cost											
□ N. Fire Alarm 3 \$227,853.12 - □ O. Handicapped Access 3 \$250,008.42 - □ P. Site Condition 2 \$522,032.15 - □ Q. Sewage System 1 \$0.00 - □ R. Water Supply 1 \$0.00 - □ S. Exterior Doors 3 \$48,080.70 - □ T. Hazardous Material 3 \$35,300.42 - □ U. Life Safety 3 \$284,816.40 - □ V. Loose Furnishings 3 \$493,250.22 - □ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -		Lighting									
G O. Handicapped Access 3 \$250,008.42 - G P. Site Condition 2 \$522,032.15 - G Q. Sewage System 1 \$0.00 - G R. Water Supply 1 \$0.00 - G S. Exterior Doors 3 \$48,080.70 - G T. Hazardous Material 3 \$35,300.42 - G U. Life Safety 3 \$284,816.40 - G V. Loose Furnishings 3 \$493,250.22 - M W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -											
□ Q. Sewage System 1 \$0.00 - □ R. Water Supply 1 \$0.00 - □ S. Exterior Doors 3 \$48,080.70 - □ T. Hazardous Material 3 \$35,300.42 - □ U. Life Safety 3 \$284,816.40 - □ V. Loose Furnishings 3 \$493,250.22 - □ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -		<u>ss</u>		3	\$250,	008.42 -					
☐ R. Water Supply 1 \$0.00 - ☐ S. Exterior Doors 3 \$48,080.70 - ☐ T. Hazardous Material 3 \$35,300.42 - ☐ U. Life Safety 3 \$284,816.40 - ☐ V. Loose Furnishings 3 \$493,250.22 - ☐ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -	P. Site Condition			2	\$522,	032.15 -					
☑ S. Exterior Doors 3 \$48,080.70 - ☑ T. Hazardous Material 3 \$35,300.42 - ☑ U. Life Safety 3 \$284,816.40 - ☑ V. Loose Furnishings 3 \$493,250.22 - ☑ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -				1		\$0.00 -					
☐ T. Hazardous Material 3 \$35,300.42 - ☐ U. Life Safety 3 \$284,816.40 - ☐ V. Loose Furnishings 3 \$493,250.22 - ☐ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -											
☑ U. Life Safety 3 \$284,816.40 - ☑ V. Loose Furnishings 3 \$493,250.22 - ☑ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -											
☑ V. Loose Furnishings 3 \$493,250.22 - ☑ W. Technology 3 \$607,176.78 - - X. Construction Contingency / Non-Construction Cost - \$2,926,247.08 -		<u>l</u>									
W. Technology											
- X. Construction Contingency / - \$2,926,247.08 - Non-Construction Cost											
Non-Construction Cost		ndenov /									
Total \$14,904,188.73					ψε,σε0,	- 1.00					
	Total				\$14,904	188.73					

East Classroom Addition (1981) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)
Name:	Brunswick High	Contact:	Mike Draves	
Address:	3581 Center Rd	Phone:	330-273-0230	

Brunswick,OH 44212 Date Prepared: 2016-07-13 By: Tony Schorr

Current Grades	9-12	Δο	reage:	86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations		Suitability Appraisal Sulfilliary				
Current Enrollment	2226	-	assrooms:	120	Section	Points Possible	Points Earned	Percentage	Rating Category
Projected Enrollment	N/A	1		1.20	Cover Sheet	_	_	_	_
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1	93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine					5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	+	1	863	<u>Commentary</u>	_	_		_
Mezzanine					Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1	68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	mates		
Original West Building	1975	no	1	2,399	C=Under Contract				
Auditorum									
Original West Building Greenhouse	1975	no	1	363	Renovation Cost Factor				110.06%
East Weight Room Addition	1976	no	1		Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Panayata/P!	o ratio ara!	rovidad ···	\$1,987,390.96
Center Building Addition	1981	+ -	1	64 731	The Replacement Cost Per SF and the R requested from a Master Plan.	neriovale/Hepiaci	are only p	noviaea wnen	uns summary IS
East Classroom Addition	1981	_	1	7,122					
East Classroom Addition	1981	+	1	805					
<u>Mezzanine</u>									
West Wing Addition	1981	-	1	7,263					
West Wing Addition Board	1981	no	1	13,770					
Offices Derforming Arts Center	2002)	1	10.044					
Performing Arts Center Performing Arts Center	2002	_		16,344 8,055					
Seating	2002	yes	'	8,033					
Total				331,547					
*HA =	Handica	ppe	d Access						
*Rating =1	Satisfact	tory							
=2	Needs F	Repa	ir						
			acement						
		Sch	eduled Constru						
FACILITY ASSESS Cost Set: 202			Rating	Dollar Assessment C					
A. Heating System			3	\$350,758.50 -					
B. Roofing			3	\$170,423.51 -					
C. Ventilation / Air Con	ditionin	g	2	\$0.00 -					
D. Electrical Systems			3	\$245,139.24 -					
E. Plumbing and Fixtur	es		3	\$0.00 -					
F. Windows			3	\$6,255.00 -					
G. Structure: Foundation	<u>on</u>		2	\$0.00 -					
H. Structure: Walls and O		<u>'S</u>	2	\$26,438.28 -					
I. Structure: Floors and	Roofs		1	\$0.00 -					
J. General Finishes			3	\$252,431.78 -					
K. Interior Lighting			3	\$54,269.64 -					
L. Security Systems	abtic ~		3	\$32,120.22 -					
M. Emergency/Egress Lig N. Fire Alarm	gritirig		3 3	\$8,332.74 - \$25,069.44 -					
O. Handicapped Access			3	\$42,602.62 -					
P. Site Condition			2	\$57,119.57 -					
C. Sewage System			1	\$0.00 -					
R. Water Supply			1	\$0.00 -					
S. Exterior Doors			3	\$17,590.50 -					
T. Hazardous Material			3	\$10,239.44 -					
U. Life Safety			3	\$31,336.80 -					
V. Loose Furnishings			3	\$54,269.64 -					
W. Technology			3	\$66,804.36 -					
- X. Construction Continge Non-Construction Cos			-	\$354,532.83 -					
Total	<u> </u>			\$1,805,734.11					
Total				ψ1,000,734.11					

East Classroom Addition Mezzanine (1981) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Current Grades	9-12	Δ.	roogo:	86.26	Suitability Appraisal Summary				
Proposed Grades	9-12 N/A	_	reage: aching Stations		Suitability Appraisal Summary				
Current Enrollment	2226	-	assrooms:	120	Section	Points Possible	Points Earned	Percentage F	Rating Category
Projected Enrollment	N/A	+	2001001110.	120	<u>Cover Sheet</u>	_	_	_	
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1	93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine Original East Building I.S.	1967		1	1.007	5.0 Educational Adequacy	200	153	77%	Satisfactory
Mezzanine	1967	110	'	1,267	0.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	_	1	863	Commentary		_		_
<u>Mezzanine</u>					Total	1000	801	80%	Satisfactory
Original West Building	1975	-	1	68,505		SSMERIL COST ESTIN	<u>nates</u>		
Original West Building Auditorum	1975	no	1	2,399	C=Under Contract				
Original West Building	1975	no	1	363					
Greenhouse	1373			000	Renovation Cost Factor Cost to Renovate (Cost Factor applied)				110.06% \$256,311.58
East Weight Room Addition	1976	no	1	5,718	The Replacement Cost Per SF and the I	Renovate/Replace	ratio are only p	provided when	
Center Building Addition	1981	no	1	64,731	requested from a Master Plan.	·			
East Classroom Addition	1981	no	1	7,122					
East Classroom Addition	1981	no	1	805					
Mezzanine	1001		1	7,263					
West Wing Addition West Wing Addition Board	1981 1981	 -	1	13,770					
Offices	1901	110	'	13,770					
Performing Arts Center	2002	no	1	16,344					
Performing Arts Center	2002	yes	1	8,055					
Seating									
<u>Total</u>				331,547					
		• •	d Access						
	atisfact eeds R		ir						
			icement						
*Const P/S = P		•		ction					
FACILITY ASSESS		00	00.00.00	Dollar	1				
Cost Set: 202	2		Rating	Assessment C					
A. Heating System			3	\$39,646.25 -					
B. Roofing			3	\$0.00 -					
C. Ventilation / Air Cond	litionin	g	2	\$0.00 -					
D. Electrical Systems			3	\$27,708.10 -					
E. Plumbing and Fixture	<u>s</u>		3	\$0.00 -					
☐ F. Windows ☐ G. Structure: Foundation			2	\$0.00 - \$0.00 -					
H. Structure: Walls and		evs	2	\$0.00 -					
I. Structure: Floors and F		<u> </u>	1	\$0.00 -					
J. General Finishes			3	\$74,629.45 -	1				
K. Interior Lighting			3	\$6,134.10 -	1				
L. Security Systems			3	\$3,630.55 -					
M. Emergency/Egress Lig	hting		3	\$941.85 -					
N. Fire Alarm			3	\$2,833.60 -					
O. Handicapped Access			3	\$185.15 -					
P. Site Condition			2	\$14,127.15 -					
C Sewage System			1	\$0.00 -					
R. Water Supply			1	\$0.00 -					
S. Exterior Doors			3	\$0.00 -					
T. Hazardous Material U. Life Safety			3 3	\$96.60 - \$3,542.00 -					
V. Loose Furnishings			3	\$3,542.00 -	1				
W. Technology			3	\$7,550.90	1				
- X. Construction Continger	ncv /			\$45,723.70 -					
Non-Construction Cost				ψ10,720.70					
Total				\$232,883.50					

West Wing Addition (1981) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

 Name:
 Brunswick High
 Contact:
 Mike Draves

 Address:
 3581 Center Rd
 Phone:
 330-273-0230

Current Grades	9-12	Ac	reage:		86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	_	aching Stations	3:	128	, , ,				
Current Enrollment	2226	_	assrooms:		120	Section	Points Possible	Points Earned	d Percentage	Rating Category
Projected Enrollment	N/A					Cover Sheet	_	_	_	_
<u>Addition</u>	Date	<u>HA</u>	Number of	Current	t Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	Fe	<u>eet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	-	1			3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym. Mezzanine	1967	no	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Original East Building I.S.	1967	no	1		1,267	5.0 Educational Adequacy	200	153	77%	Satisfactory
Mezzanine	1.007		·		1,207	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	no	1		863	<u>Commentary</u> Total	1000	801	909/	— Satisfactory
<u>Mezzanine</u>						Enhanced Environmental Hazards Asse			80%	Salisiaciory
Original West Building	1975	_	1		68,505	Elinanced Environmental Hazards Asse	essment Oost Estin	<u>nates</u>		
Original West Building Auditorum	1975	no	1		2,399	C=Under Contract				
Original West Building	1975	no	1		363					110.000/
Greenhouse	1.0.0		·		000	Renovation Cost Factor Cost to Renovate (Cost Factor applied)				110.06% \$1,864,593.35
East Weight Room Addition	1976	no	1		5,718	The Replacement Cost Per SF and the	Renovate/Replace	ratio are only	 provided when	this summary is
Center Building Addition	1981	no	1		64,731	requested from a Master Plan.	•			•
East Classroom Addition	1981	no	1		7,122					
East Classroom Addition	1981	no	1		805					
Mezzanine	1001				7.000					
West Wing Addition	1981	-	1 1		7,263 13,770					
West Wing Addition Board Offices	1981	ПО	'		13,770					
Performing Arts Center	2002	no	1		16,344					
Performing Arts Center	2002	_	1		8,055					
Seating										
<u>Total</u>					331,547					
		• •	d Access							
	Satisfact									
	Needs F									
	Needs F									
FACILITY ASSES		Scne	eduled Constru	ction	Dollar					
Cost Set: 20			Rating	Asses	sment C					
A. Heating System			3		702.75 -					
B. Roofing			3		\$0.00 -					
C. Ventilation / Air Con	ditionin	g	2		\$0.00 -					
D. <u>Electrical Systems</u>			3	\$249,	992.46 -					
E. Plumbing and Fixtures	<u>s</u>		3		920.82 -					
F. Windows			3	\$2,0	085.00 -					
G. Structure: Foundation	_		2		\$0.00 -					
H. Structure: Walls and O		<u>S</u>	2	\$6,	783.40 -					
I. Structure: Floors and	Roofs		1		\$0.00 -					
J. General Finishes			3		883.77 -					
K. Interior Lighting			3		344.06 -					
L. <u>Security Systems</u> M. <u>Emergency/Egress Lig</u>	abtion		3 3		756.13 -					
N. Fire Alarm	griting		3		497.71 - 565.76 -					
O. Handicapped Access			3		265.14 -					
P. Site Condition			2		189.03 -					
Q. Sewage System			1	φου,	\$0.00 -					
R. Water Supply			1		\$0.00 -					
S. Exterior Doors			3	\$22.	750.38 -					
T. Hazardous Material			3		369.34 -					
U. Life Safety			3		957.20 -					
V. Loose Furnishings			3	\$55,	344.06 -					
W. Technology			3		126.94 -					
- X. Construction Continge			-	\$332,	626.83 -					
Non-Construction Cos	<u>st</u>			4 ,						
Total				\$1,694,	160.78					

Main Assessment Menu - Brunswick City (43661) - Brunswick High (3970)

West Wing Addition Board Offices (1981) Summary

District: Brunswick City County: Medina Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Brunswick,OH 44212 Date Prepared: 2016-07-13 By: Tony Schorr
Bldg. IRN: 3970 Date Revised: 2019-06-18 By: Monica Bruaw

Current Grades	9-12	۸۵	reage:	86.26	Suitability Appraisal Summary				
Proposed Grades	N/A	-	aching Stations		Suitability Appraisal Sulfilliary				
Current Enrollment	2226	-	assrooms:	120	Section	Points Possible	Points Earned	Percentage	Rating Category
Projected Enrollment	N/A	1			Cover Sheet	_	_	_	_
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1	93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine	400=			4 00=	5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	-	1	863	<u>Commentary</u>	_			_
Mezzanine					Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1	68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	<u>mates</u>		
Original West Building	1975	no	1	2,399	C=Under Contract				
<u>Auditorum</u>	4075			000					
Original West Building Greenhouse	1975	no	1	363	Renovation Cost Factor				110.06%
East Weight Room Addition	1976	no	1	5.718	Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Panavata/Panlas	o ratio aro only r	provided when	\$3,474,965.62
Center Building Addition	1981	+	1	64.731	requested from a Master Plan.	neriovate/nepiaci	e ratio are orily p	novided wrieri	uns summary is
East Classroom Addition	1981	_	1	7,122	•				
East Classroom Addition	1981	+	1	805					
<u>Mezzanine</u>									
West Wing Addition	1981	yes	1	7,263					
West Wing Addition Board	1981	no	1	13,770					
Offices Performing Arts Center	2002	no	1	16 244					
Performing Arts Center Performing Arts Center	2002	_		16,344 8,055					
Seating Seating	2002	yes	'	0,055					
Total			'	331,547					
*HA =	Handica	pped	d Access						
*Rating =1	Satisfact	tory							
=2	Needs F	Repa	ir						
	Needs F								
		Sch	eduled Construc						
FACILITY ASSES Cost Set: 20.			Dating	Dollar					
A. Heating System	22		Rating 3	Assessment C \$678,172.50 -					
B. Roofing			3	\$0.00 -					
C. Ventilation / Air Con	ditionin	a	2	\$0.00 -					
D. Electrical Systems		2	3	\$473,963.40 -					
E. Plumbing and Fixture	 S		3	\$48,080.70 -					
f. Windows	_		3	\$72,945.40 -					
G. Structure: Foundation	<u>on</u>		2	\$0.00 -					
H. Structure: Walls and	Chimney	<u>'S</u>	2	\$31,377.60 -					
I. Structure: Floors and	Roofs		1	\$0.00 -					
J. General Finishes			3	\$464,311.70 -					
K. Interior Lighting			3	\$104,927.40 -					
L. Security Systems			3	\$62,102.70 -					
M. Emergency/Egress Li	ghting		3	\$16,110.90 -					
N. Fire Alarm			3	\$48,470.40 -					
O. Handicapped Access			3	\$82,676.16 -					
P. Site Condition			2	\$110,328.30 -					
C. Sewage System R. Water Supply			1 1	\$0.00 -					
R. Water Supply S. Exterior Doors			3	\$0.00 - \$5,159.88 -					
T. Hazardous Material			3	\$44,129.55 -					
U. Life Safety			3	\$60,588.00 -					
V. Loose Furnishings			3	\$104,927.40 -					
W. Technology			3	\$129,162.60 -					
- X. Construction Continge	ency /		-	\$619,902.88 -					
Non-Construction Cos				. ,					
Total				\$3,157,337.47					

Main Assessment Menu - Brunswick City (43661) - Brunswick High (3970)

Performing Arts Center (2002) Summary

District:	Brunswick City	County:	Medina	Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Brunswick,OH 44212 Date Prepared: 2016-07-13 By: Tony Schorr
Bldg. IRN: 3970 Date Revised: 2019-06-18 By: Monica Bruaw

Current Grades	9-12	۸۵	reage:	86.26	Suitability Appraisal Summary				
	9-12 N/A	_	aching Stations		Suitability Appraisal Sulfilliary				
<u> </u>	2226	_	assrooms:	120	Section	Points Possible	Points Earned	Percentage	Rating Category
	N/A	1	200.000.	1.20	Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors	<u>Feet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	_	1	93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1	4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine	1007		4	1.007	5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1	36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	-	1	863	Commentary				
<u>Mezzanine</u>					Total	1000	801	80%	Satisfactory
Original West Building	1975	+	1	68,505	Enhanced Environmental Hazards Asse	ssment Cost Esti	<u>mates</u>		
Original West Building	1975	no	1	2,399	C=Under Contract				
Auditorum Original West Building	1975		1	202					
Greenhouse	1975	no	'	363	Renovation Cost Factor				110.06%
East Weight Room Addition	1976	no	1	5,718	Cost to Renovate (Cost Factor applied) The Replacement Cost Per SF and the I	Renovate/Renlac	e ratio are only r	rovided when	\$2,400,576.76
Center Building Addition	1981	-	1	64,731	requested from a Master Plan.				cammary is
East Classroom Addition	1981	_	1	7,122					
East Classroom Addition	1981	no	1	805					
<u>Mezzanine</u>									
West Wing Addition	1981	-		7,263					
West Wing Addition Board	1981	no	1	13,770					
Offices Performing Arts Center	2002	no	1	16,344					
Performing Arts Center Performing Arts Center	2002	_		8,055					
Seating Seating	2002	ycs		0,000					
<u>Total</u>	'			331,547					
*HA = Ha	andica	ppec	d Access						
*Rating =1 Sa	atisfact	ory							
	eeds R								
			cement						
*Const P/S = Pr		Sche	eduled Construc						
FACILITY ASSESSI Cost Set: 2022			Rating	Dollar Assessment C					
A. Heating System			3	\$700,000.00 -					
B. Roofing			3	\$291,332.52 -					
C. Ventilation / Air Condi	tionin	q	2	\$0.00 -					
D. Electrical Systems			3	\$11,440.80 -					
E. Plumbing and Fixtures			3	\$23,805.81 -					
F. Windows			3	\$0.00 -					
G. Structure: Foundation	<u> </u>		2	\$0.00 -					
H. Structure: Walls and Ch		<u>s</u>	2	\$47,082.08 -					
I. Structure: Floors and R	<u>oofs</u>		1	\$0.00 -					
J. General Finishes			3	\$0.00 -					
K. Interior Lighting			3	\$0.00 -					
L. Security Systems			3	\$73,711.44 -					
M. Emergency/Egress Ligh	nting		3	\$19,122.48 -					
N. <u>Fire Alarm</u>			3	\$57,530.88 -					
O. Handicapped Access P. Site Condition			3 2	\$3,759.12 -					
P. Site Condition C Q. Sewage System			1	\$369,858.17 - \$0.00 -					
R. Water Supply			1	\$0.00 -					
S. Exterior Doors			3	\$0.00 -					
T. Hazardous Material			3	\$1,961.28 -					
U. Life Safety			3	\$0.00 -					
V. Loose Furnishings			3	\$0.00 -					
W. Technology			3	\$153,306.72 -					
- X. Construction Contingen	cy /		-	\$428,241.49 -					
Non-Construction Cost									
Total				\$2,181,152.79					

Main Assessment Menu - Brunswick City (43661) - Brunswick High (3970)

Performing Arts Center Seating (2002) Summary

 District:
 Brunswick City
 County:
 Medina
 Area: North Central Ohio (4)

Name:Brunswick HighContact:Mike DravesAddress:3581 Center RdPhone:330-273-0230

Brunswick,OH 44212 Date Prepared: 2016-07-13 By: Tony Schorr
Bldg. IRN: 3970 Date Revised: 2019-06-18 By: Monica Bruaw

Current Grades	9-12	Λ.	roogo:		86.26	Suitability Appraisal Summary				
Proposed Grades	9-12 N/A	_	reage: aching Stations		128	Sultability Appraisal Sulfilliary				
Current Enrollment	2226	_	assrooms:	•	120	Section	Points Possible	Points Earned	Percentage I	Rating Category
Projected Enrollment	N/A		2001001110.		120	Cover Sheet	_	_	_	
Addition	Date	НА	Number of	Current	t Square	1.0 The School Site	100	88	88%	Satisfactory
			Floors		<u>eet</u>	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building	1967	no	1		93,386	3.0 Plant Maintainability	100	80	80%	Satisfactory
Original East Building Gym.	1967	no	1		4,310	4.0 Building Safety and Security	200	165	83%	Satisfactory
Mezzanine						5.0 Educational Adequacy	200	153	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1		1,267	6.0 Environment for Education	200	161	81%	Satisfactory
East Wing Addition	1970	no	1		36,646	LEED Observations	_	_	_	_
East Wing Addition I.S.	1970	_	1		863	ICommentary				_
Mezzanine	1070				000	Total	1000	801	80%	Satisfactory
Original West Building	1975	no	1		68,505	Enhanced Environmental Hazards Asse	ssment Cost Estin	<u>nates</u>		
Original West Building	1975	no	1		2,399	C=Under Contract				
<u>Auditorum</u>										
Original West Building Greenhouse	1975	no	1		363	nenovation cost ractor				110.06%
East Weight Room Addition	1976	no	1		5 719	Cost to Renovate (Cost Factor applied)	D/D /			\$856,330.91
Center Building Addition	1976		1		64 721	The Replacement Cost Per SF and the Frequested from a Master Plan.	nenovate/Heplace	ratio are only p	provided when	ınıs summary ıs
East Classroom Addition	1981		1		7,122					
East Classroom Addition	1981	_	1		805					
Mezzanine										
West Wing Addition	1981	yes	1		7,263					
West Wing Addition Board	1981	no	1		13,770					
Offices										
Performing Arts Center	2002	_	1		16,344					
Performing Arts Center Seating	2002	yes	1		8,055					
Total			1		331,547					
*HA = H	landica	pped	d Access							
*Rating =1 S	atisfact	ory								
=2 N	leeds R	ера	ir							
=3 N	leeds R	epla	cement							
*Const P/S = P	resent/	Sch	eduled Construc	ction						
FACILITY ASSESS			B	•	Dollar					
Cost Set: 202	.2		Rating 3	Asses	ssment C \$0.00 -					
B. Roofing			3	\$190 '	339.65 -					
C. Ventilation / Air Cond	litionin	a	2	ψ100,	\$0.00 -					
D. Electrical Systems		2	3	\$5.0	638.50 -					
E. Plumbing and Fixture	es		3	*-,	\$0.00 -					
F. Windows	_		3		\$0.00 -					
G. Structure: Foundation	<u>n</u>		2		\$0.00 -					
H. Structure: Walls and C	himney	s	2	\$14,	368.72 -					
I. Structure: Floors and F	Roofs		1		\$0.00 -					
J. General Finishes			3	\$193,	893.00 -					
K. Interior Lighting			3		\$0.00 -	1				
L. Security Systems			3		328.05 -	1				
M. Emergency/Egress Lig	nting		3		424.35 -					
N. <u>Fire Alarm</u>			3		353.60 -	-				
O. Handicapped Access P. Site Condition			3 2		852.65 -	1				
P. Site Condition C Q. Sewage System			1	φοσ,	575.43 - \$0.00 -	1				
R. Water Supply			1		\$0.00 -	1				
S. Exterior Doors			3		\$0.00 -					
T. Hazardous Material			3	.\$0	966.60 -	1				
U. Life Safety			3	Ψ	\$0.00 -					
V. Loose Furnishings			3		\$0.00 -	1				
M. Technology			3	\$75,	555.90 -					
- X. Construction Continger			-		761.80 -					
Non-Construction Cost	<u>t</u>									
Total				\$778,	058.25					

A. Heating System

Description:

The existing system for the East House is a gas-fired heating water system installed in 1967 and in fair condition. The heating water system for East House is a 2-pipe system with capacity for simultaneous heating and cooling operation, which is compliant with OSDM requirements for basic system type. The (5) gas-fired heating water boilers in East House are manufactured by Cleaver Brooks and were installed in 1967 and are in fair condition. Heating water is distributed to terminal units consisting of unit ventilators that are in fair condition. The existing system for Center House (1981) is also fed from the East House boilers. The heating water for Center house feeds, finned tube radiation and air handling units. The existing system for West House (1975) is air handling units with electric heat. Natural Gas heat serves the PAC addition via packaged RTUs.

3 Needs Replacement Rating:

Provide new overall heating, ventilating, and air conditioning system with new ductwork to achieve compliance due to the age of the HVAC System, with Ohio Building Code and Ohio School Design Manual standards. The PAC RTUs, installed 14 years ago, are near the end of their Recommendations:

expected life.

0	h	11	Mr I. D. T.F.	haran Fran	haran	h.:	F 1 14 F	E ME	h :	0.7-71	h.:	F 14/-1-1-	h	F	I=	NAV NAT	NAV NAT	h	b. (h	h
Item	Cost	Unit	Whole Building		Original		East Wing Addition	East Wing	Original West	Original	Original West	East Weight	Buildina	East	East	West Wing Addition	West Wing Addition	Performing Arts Center		Sum	Comments
				Building										Classroom Addition							
				(1967)			(1970)	I.S.			Building		Addition		Addition	(1981)	Board	(2002)	Center		
				93,386 ft ²	Gym.		36,646 ft ²	Mezzanine			Greenhouse		(1981)	(1981)	Mezzanine	7,263 ft²	Offices	16,344 ft ²	Seating		
					Mezzanine	Mezzanine		(1970)		(1975)	(1975)	5,718 ft ²	64,731 ft ²	7,122 ft ²	(1981)		(1981)		(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft²				805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
HVAC	\$49.25			Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$15,127,039.00	
System		entire																			demo of
Replacement		building																			existing
		addition)																			system and
																					reconfiguration
																					of piping
																					layout and
																					new controls,
																					air
																					conditioning)
Convert To	\$9.38	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required							\$2,609,403.44	(includes costs
Ducted		entire																			for vert. &
System		building																			horz. chases,
-		addition)																			cut openings,
																					soffits, etc.
																					Must be used
																					in addition to
																					HVAC System
																					Replacement
																					if the existing
																					HVAC system
																					is non-ducted)
Other:	\$700,000,00	allowance																Required		\$700,000.00	
Replace																		1 .,			RTU's on
RTU's				1				I													Performing
[Arts Addition
Sum:			\$18,436,442.44	\$5,475,221.1	\$252,695,30	\$74.284.21	\$2,148,554,98	\$50.597.69	\$4.016.448.15	\$140,653.37	\$21,282,69	\$335,246,34	\$3,795,178,5	3\$350.758.5	39 646 25	\$357.702.75	\$678,172.50	\$700,000.00	080.00		
			p , ,	p,, 1111	-,000.00	-j,=0 <u>-</u> .	p=,	A	.,,	+ , 500.07	r,-02.00	p===,E 10.0	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,,,00.0		-p,/ 02.//		· ,000.00	-p		







Air handling unit

B. Roofing

Description:

The roof systems for the overall complex are a combination of a coal tar built-up system installed in 1967, a GRM membrane system installed approximately in 1981, metal seam roofing systems installed over the Gymnasiums, PVC systems installed in 2002, 2008 and 2009, and a 2-ply modified bitumen system installed in 2015 and 2016. The systems are generally in poor to good condition. The 2-ply modified bitumen system installed in 2015 updated a significant portion of the 1975 and 1981 additions and a portion of the 2002 PAC Addition. A limited portion of the 1967 Original Building and 1970 Addition roof was in progress of replacement at the time of assessment with a 2-ply modified bitumen system. The date of installation of the metal roof assemblies were not identified, but are assumed to exceed 10 years of age. Access to the roof was gained from a mechanical mezzanine/penthouse with walk-out access to the roof. Edge trim and cap flashings at the dated PVC, GRM and coal tar systems are in fair to poor condition. Edge trim and cap flashings at the updated modified bitumen systems are in good condition. Roof storm drainage is addressed through a system of roof drains and downspouts/gutters. The 2002 PAC Addition is equipped with an overflow system, but the majority of the remaining complex does not have overflow protection.

Rating:

3 Needs Replacement

Recommendations:

Provide for replacement of the dated coal tar built-up roof system, GRM membrane system, metal seam roofing systems and PVC systems remaining at the 1967, 1970, 1975, and 1981 East Classroom and 2002 PAC Additions. Replace edge trim and cap flashings, provide an overflow drainage system, and replace gutters/downspouts in conjunction with roof replacement at the 1967, 1970, 1975, and 1981 additions. The 2-ply modified bitumen systems are in good condition, are anticipated to have good life expectancy, and do not require renovation or repair at the current time. 3-18-19 RPC Update: Add Roof Insulation per the recommendation of the Architect.

ltem	Cost		Whole Building	Original East Building (1967) 93,386 ft ²	Building Gym.	East Building		East Wing Addition I.S. Mezzanine (1970) 863 ft ²	West Building	Original West Building Auditorun (1975) 2,399 ft ²	Building Greenhouse	Addition	Building Addition (1981)	East Classroom Addition (1981) 7,122 ft ²	East Classroom Addition Mezzanine (1981) 805 ft ²	Additio	West Wing nAddition Board Offices (1981) 13,770	Arts Center (2002) 16,344 ft ²	Performing Arts Center Seating (2002) 8,055 ft ²	Sum	Comments
Membrane (all types / fully adhered):	\$18.12	eq.ft. (Qty)		81,660 Required			35,290 Required					5,718 Required		6,297 Required			ft²		8,055 Required	\$2,691,635.40	under 10,000 sq.ft.)
Standing Metal Seam:	\$22.56	sq.ft. (Qtv)		9,206 Required		3,900 Required			9,500 Required											\$509,991.36	
Repair/replace cap	\$21.58	In.ft.		1,880 Required			1,020 Required					340 Required		350 Required				950 Required		\$97,973.20	
Gutters/Downspouts		ln.ft.		320 Required					360 Required											\$10,444.80	
Overflow Roof Drains and Piping:	\$3,518.10	each		18 Required			6 Required					2 Required		4 Required						\$105,543.00	
Roof Insulation:	\$5.51	(Qty)		90,866 Required	3,900 Required		35,290 Required		9,500 Required			5,718 Required		6,297 Required					8,055 Required	\$941,537.78	(tapered insulation for limited area use to correct ponding)
Sum:			\$4,357,125.54	\$2,296,849.62	\$21,489.00	\$87,984.00	\$877,022.90	\$0.00	\$272,194.60	\$0.00	\$0.00	\$149,489.74	4\$0.00	\$170,423.5	\$0.00	\$0.00	\$0.00	\$291,332.52	\$190,339.65		





2-Ply system

PVC System

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C. Ventilation / Air Conditioning

Description:

The East House (1967) is equipped with self-contained unit ventilator air conditioning system, which is in fair condition. The Center House (1981) is equipped with multiple air handling units with Dx cooling. The Dx cooling is being replaced this summer (2016.) The West House (1981) is equipped with multiple air handling units with chilled water coils and a 1974 water cooled chiller and cooling tower in fair condition. The ventilation system in the overall facility consists of unit ventilators, installed in 1981 & 1985 and in fair condition, providing fresh air to Classrooms, and air handlers in fair condition, providing fresh air to miscellaneous spaces such as Gymnasiums, Student Dining, Media Center / etc. Classroom spaces relief and air venting is provided by ceiling plenums. The ventilation system does meet the Ohio Building Code 15 CFM per occupant fresh air requirement. The overall system is not compliant with Ohio Building Code and Ohio School Design Manual requirements. Exhaust systems for (Restrooms / Kitchen / Gymnasium / Storage Rooms / Custodial Closets) are adequately placed, and in good condition. PAC is served by 10 packaged profton units (RTLIs) all 15 tons and under. Three 40% outside air units have energy recovery wheels. Total OA is 10 served by 10 packaged rooftop units (RTUs), all 15 tons and under. Three 40% outside air units have energy recovery wheels. Total OA is 10 CFM/P, or total of 30% outside air, and is adequate for the PAC. Underground PAC ducts should be inspected for leaks.

2 Needs Repair Rating:

Due to the age of the HVAC System provide an air conditioning system with new ductwork to meet with Ohio Building Code and Ohio School Recommendations:

Design Manual requirements. Pricing included in Item A. PAC units should be replaced, due to their age (14+ years).

Item	Cost L	Jnit V	Nhole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West	West	Performing	Performing	Sum	Comments
		E	Building	East	East	East	Addition	Addition	West	West	West	Weight	Building	Classroom	Classroom	Wing	Wing	Arts	Arts		
				Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Addition	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Board	(2002)	Seating		
				93,386	Mezzanine	Mezzanine		(1970)	68,505	(1975)	(1975)	(1976)	64,731	7,122 ft ²	(1981)	7,263	Offices	16,344 ft ²	(2002)		
				ft²	(1967)	(1967)		863 ft ²	ft²	2,399 ft ²	363 ft ²	5,718	ft²		805 ft²	ft²	(1981)		8,055 ft ²		
					4,310 ft ²	1,267 ft ²						ft²					13,770				
																	ft ²				
Kiln	\$5,863.50	ach					3 Required													\$17,590.50	
Exhaust																					
System:																					
Sum:		\$	17,590.50	\$0.00	\$0.00	\$0.00	\$17,590.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		





Roof mounted condensing units

Indoor chiller

Back to Assessment Summary

D. Electrical Systems

Description:

The electrical system provided to the East House, located in the main mechanical room, is a 480/277V., 1000 amp, 3 phase, 4 wire system in fair condition. Power is provided via a padmount transformer. The panel system appears to be original. The East House is equipped with an unsuitable emergency generator that isn't functional. Adequate lightning protection safeguards are not provided. The electrical system provided to the Center House is 480/277V., 800A; and a 150kVA transformer serves a 208/120V. 400A. panel. Power is provided via a padmount transformer. There is no generator serving the Center House. They panel system is original and in fair condition. The electrical system provided to the West House is 480/277V., 1200A. service, with a transformer and 1200A. 208/120V. panel. Power is provided via a padmount transformer. There is no generator serving the West House. They panel system is original and in fair condition. The electrical system provided to the PAC is 480/277V., 1200A. service, with three transformers to step down to 208/120V. panels; separate transformers are provided for stage lighting, sound, and other power. Power is provided via a site padmount transformer. There is no generator serving the PAC. The panels are in good condition. The Classrooms are equipped with adequate electrical outlets. The typical Classroom contains 4-6 general purpose outlets, some have dedicated outlets for Classroom computers, and televisions. The Corridors are equipped with adequate electrical outlets for servicing, as well as outlets near the ceiling for TVs. Stage lighting power system including control panel, breakers, and dimmers is inadequately provided, in good condition and does not meet OSDM requirements. The overall electrical system does not meet Ohio School Design Manual requirements in supporting the current needs of the school, and will be inadequate to meet the facility's future needs.

Rating: 3 Needs Replacement

Recommendations:

The entire electrical system, except for the PAC system, requires replacement to meet Ohio School Design Manual guidelines for overall capacity, due to condition and age, and lack of OSDM-required features. Provide lighting protection at the overall facility.

Item	Cost	Unit			Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft ²	Addition (1970) 36,646 ft ²	East Wing Addition I.S. Mezzanine (1970) 863 ft ²	(1975) 68,505 ft ²	West Building Auditorum (1975)	Building Greenhouse	Addition (1976)	Center Building Addition (1981) 64,731 ft ²	East Classroom Addition (1981) 7,122 ft ²	East Classroom Addition Mezzanine (1981) 805 ft ²	(1981)	West Wing Addition Board Offices (1981) 13,770 ft ²	Center (2002) 16,344 ft ²	Performing Arts Center Seating (2002) 8,055 ft ²	Sum	Comments
System Replacement		sq.ft. (of entire building addition)		Required	Required		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required				idemo of existing system. Includes generator for life safety systems. Does not include telephone or data or equipment) (Use items below ONLY when the entire system is NOT being replaced)
Lightning Protection		sq.ft. (of entire building addition)		Required	·		·	·				·	Required	Required	·	Required	Required	Required	Required	\$232,082.90	
Sum:			\$10,589,113.46	\$3,214,346.12	\$148,350.20	\$43,610.14	\$1,261,355.32	\$29,704.46	\$2,357,942.10	\$82,573.58	\$12,494.46	\$196,813.56	\$2,228,041.02	\$245,139.2	4\$27,708.10	\$249,992.46	\$\$473,963.40	D\$11,440.80	\$5,638.50		







Electrical switchgear (West House)

E. Plumbing and Fixtures

Description:

There are (2) service entrances for the school, each is equipped with 4" reduced pressure backflow preventer in good condition. A separate 2.5" service is provided for the PAC; the backflow preventer needs to be verified. The domestic water supply piping in the overall facility is copper original to each addition, and is in good condition. The waste piping in the overall facility is cast iron, is original to each addition, and is in good condition. The facility is equipped with one electric water heater in each wing (East, Center, West) in good condition. Three electric water heaters (total 100 gallons) are provided for the PAC, are 14 years old, and are in fair condition. The school facility contains 22 group/locker room restrooms (11 girls, 11 boys), one clinic toilet, one kitchen toilet, 19 staff/single occupancy toilet facilities. Fixtures are a combination wall and floor mounted toilets, wall mounted urinals and wall, floor and counter mounted lavatories. Fixtures have been updated at select locations, but dated installations remain in some areas. Portions of the toilet facilities were renovateded in 2002 to provide accessible accommodations, but do not fully conform to the provision of the ADA or ANSI Guidelines in all areas. The locations of flush valves at accessible water closets obstruct grab bar installations in several locations. Faucets and flush valve assemblies are a combination of manual and automatic. Fixtures are generally in fair to good condition. Toilet facilities at the 2002 PAC Addition are generally compliant with ADA requirements, but are lacking vertical grab bars at the accessible water closets. The school meets the OBC requirement for fixture count. ADA/ANSI requirements are not met for fixtures and drinking fountains (refer to Plate O). A portion of the toilet facilities throughout the 1967, 1970, 1975 and 1981 Additions are not accessible and do not conform to the provisions of the ADA/ANSI Guidelines. The 1976 Addition is not equipped with toilet facilities.

Rating: 3 Needs Replacement

Recommendations:

Provide new fixtures to replace dated existing wall and floor mounted assemblies because of age. Provide new fixtures in conjunction with ADA modifications. Replace select flush valves and faucets throughout the complex for water efficiency. Replace water and sanitary waste piping at the 1967, 1970, 1975 and 1976 Additions due to age. Refer to Plate O for accessible provisions. Provide new water heaters and verify operation of BFP at the PAC.

Item	Cost							East Wing		Original	Original	East	Center	East	East				Performing	Sum	Comments
			Building			East				West			Building		Classroom			Arts	Arts		
						Building	(1970)						Addition	Addition	Addition	(1981)	Board	Center	Center		
				93,386 ft²	Gym.		36,646 ft ²	Mezzanine			Greenhouse		(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	(2002)	Seating		
						Mezzanine				(1975)	(1975)		64,731 ft ²	7,122 ft ²	(1981)		(1981)	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Back Flow	\$5,863.50	unit																 Required 	I	\$5,863.5	0
Preventer:																					
Domestic	\$4.10	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required								\$875,173.7	0(remove /
Supply		entire																			replace)
Piping:		building																			
		addition)																			
Sanitary	\$4.10	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required								\$875,173.7	0(remove /
Waste		entire																			replace)
Piping:		building																			
		addition)																			
Domestic	\$5,980.77	per unit							2 Required				1 Required	i				3 Required		\$35,884.6	2(remove /
Water																					replace)
Heater:																					
Toilet:	\$4,456.26	unit		22 Required			11 Required		14 Required				4 Required	i		3 Required	9 Required			\$280,744.3	8(new)
Urinal:	\$4,456.26	unit		11 Required			10 Required		7 Required				4 Required	i		4 Required	1 Required			\$164,881.6	2(new)
Sink:	\$2,931.75	unit		22 Required			10 Required		9 Required				11			4 Required				\$164,178.0	0(new)
													Required								
Electric	\$3,518.10	unit							1 Required				1 Required	i						\$7,036.2	0(double ADA)
water																					, ,
cooler:																					
Replace	\$586.35	per unit		54 Required					42 Required				2 Required	i			6 Required			\$60,980.4	0(average cost to
faucets											1		1				"				remove/replace)
and flush											1									1	1
valves											1									1	
Sum:			\$2.469.916.12	\$1,008,983.18	\$35.342.00	\$10.389.40	\$423.396.16	\$7.076.60	\$721.814.55	\$19.671.80	\$2.976.60	\$46.887.60	\$78.570.90	\$0.00	\$0.00	\$42,920,82	\$48,080.70	\$23.805.81	\$0.00		
			. , ,	, , ,	,	, .,	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, ,. 0.00	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,	,, ,	,	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	17		,	,	, , , , , , , , , , , ,	10		





F. Windows

Description:

The 1967 Original East Building, 1970 and 1976 Additions are equipped with operable and fixed aluminum systems with double pane insulated glazing units. The units are not equipped with integral blinds and glazing seals are compromised in multiple locations. The window systems are in fair to poor condition. The 1975 Original West Building is equipped with an operable aluminum window system with insulated glazing and integral blinds and greenhouse assembly in fair condition. The 1981 Additions are equipped with an operable thermal broken aluminum window system with dual pane insulated glazing in fair condition. The window and entry assemblies of the 1967 through 1981 Additions exceed 20+ years of age and have reached their useful life expectancy. The 2002 PAC Addition is equipped with a thermally broken aluminum window system and curtain wall assemblies with double pane insulated glazing in satisfactory condition. The assemblies are not equipped with integral blinds and are anticipated to have good life expectancy. The 2002 PAC Addition features several decorative glass block wall assemblies in good condition.

Rating:

3 Needs Replacement

Recommendations:

Replace all window assemblies at the 1967, 1970, 1975, 1976 and 1981 Additions due to age and condition. Provide a new insulated window system with integral blinds to meet the Ohio School Design Manual requirements and replace sidelights and transoms at entries with a thermally efficient storefront system. Replace greenhouse glazing system at the 1975 Addition. The existing conditions at the 2002 PAC Addition require no renovation or repair at the current time.

Item	Cost	Unit Whole	Original	Original	Original	East Wing			Original	Original		Center	East	East	West		Performing		Sum	Comments
		Building	East	East	East	Addition		West	West	West		Building		Classroon		Addition		Arts		
			Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Board	Center	Center		
			(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Offices	(2002)	Seating		
			93,386 ft ²	Mezzanine	Mezzanine	9	(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)	7,263 ft ²	(1981)	16,344 ft ²	(2002)		
				(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718			805 ft ²		13,770 ft ²		8,055 ft ²		
				4,310 ft ²	1,267 ft ²						ft²									
	\$119.09	sq.ft.	2,400			1,440		800				1,180				560			\$759,794.20	(includes
Glass/Panels:		(Qty)	Required			Required		Required				Required				Required				integral
																				blinds and
																				removal of
																				existing
																				windows)
Curtain Wall	\$104.25	sq.ft.	200					130				40 Required	d60		20	60			\$53,167.50	(includes
System:		(Qty)	Required					Required					Required		Required	Required				demo of
'		` '1						l .					1 .			1 .				existing and
																				replacement
																				with new)
Greenhouse	\$99.68	sa.ft.								363									\$36,183.84	(demo and
Replacement		(Qty)		1				1		Required						1				replace;
1				1				1								1				based on
		1																		area of
1		1		1				1								1				greenhouse
		1																		floor)
Sum:		\$849,145.	54\$306,666.0	0\$0.00	\$0.00	\$171,489.60	\$0.00	\$108,824.50	\$0.00	\$36,183.84	\$0.00	\$144,696.20	0\$6,255.00	\$0.00	\$2,085.0	\$72,945.40	\$0.00	\$0.00		





Typical window

Typical window

G. Structure: Foundation

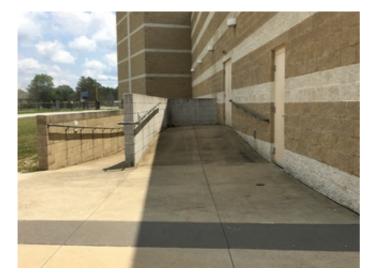
The overall complex is equipped with concrete masonry foundation walls on concrete footings which display no locations of significant differential settlement, cracking or leaking and are in satisfactory condition except for the north ramp assembly at the PAC Addition. The ramp pavement surfaces have settled or were not properly graded. Ramp retaining wall structure displays minor areas of cracking in a few locations. Description:

2 Needs Repair Rating:

The existing conditions at the overall building require no renovation or repair at the current time. Refer to Plate H for funding for repair of the ramp Recommendations:

assembly at the 2002 PAC Addition and overall wall repairs.

ltem	Cost		Whole Building	East Building (1967) 93,386 ft ²	East Building Gym.	East	Wing Addition (1970) 36,646	I.S. Mezzanine	West Building (1975) 68,505 ft ²	Auditorun (1975)	West Building Greenhouse (1975)	Weight Room Addition	Center Building Addition (1981) 64,731 ft ²	Classroom Addition (1981) 7,122 ft ²	East Classroon Addition Mezzanine (1981) 805 ft ²	Addition	Addition Board	Arts	Performing Arts Center Seating (2002) 8,055 ft ²	Sum	Comments
Waterproofing Membrane:	\$11.14	sq.ft. (Qty)						3,258 Required												\$36,294.12	(include excavation and backfill)
Drainage Tile Systems / Foundation Drainage:	\$21.11	·						543 Required												\$11,462.73	excavation and backfill)
Other: Add Control Joint	\$10,000.00								1 Required				1 Required							\$20,000.00	Add Control Joint In Corrodors
Other: Music Room Floor Slab Repair	\$110,041.00	allowance											Required							\$110,041.00	Repair floor slab settlement in Music Room
Other: Remove and Replace Concrete	\$8.00	(Qty)							1,600 Required											\$12,800.00	Remove and Replace concrete
Sum:			\$190,597.85	\$0.00	\$0.00	\$0.00	\$0.00	\$47,756.85	\$22,800.00	\$0.00	\$0.00	\$0.00	\$120,041.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		





Ramp Crack at retaining wall

H. Structure: Walls and Chimneys

Description:

The 1967 Original East Building, 1970 and 1976 Additions have brick and glazed brick masonry bearing wall systems which display limited areas of deterioration and are generally in fair to good condition. Face brick is spalled in a few areas and displays limited areas of mortar deterioration. Areas of mortar displacement have been improperly repaired with sealant. Metal panel siding features at these additions has been repainted successive times and surface finish is in poor condition. The 1975 Original West Building and 1981 Additions have a scored split-face CMU masonry bearing wall system which display limited areas of deterioration. CMU is damaged in a few areas and displays limited areas of mortar deterioration. The 2002 PAC Addition has a split face masonry bearing wall system which is generally in good condition except for retaining walls and adjoining wall structure at the north façade ramp assembly, which displays a few areas of cracking and minor mortar deterioration. Refer to additional comments at Plate G. A limited portion of the existing lintels at openings throughout the 1967-1981 Additions display evidence of deterioration. The overall building, excluding the 1967 and 1970 additions, is equipped with control joints, and sealants are typically in fair condition and in need of maintenance.

Rating: 2 Needs Repair

Recommendations:

Provide tuckpointing in all areas of mortar deterioration, replace deteriorated lintels, repair damaged brick/CMU, provide masonry cleaning and sealing and replace sealants at the overall complex. Repair retaining wall and ramp assembly at the 2002 PAC Addition inclusive of replacement of ramp pavement surfaces. Replace metal siding at the 1967 and 1970 Additions and include replacement of coping/edge trim at newly renovated roof area. Refer to Plate B for edge trim replacement associated with roof replacements.

ltem	Cost	Unit		East	Gym.	East Building	(1970) 36,646 ft ²	Addition I.S. Mezzanine	West Building	Original West Building Auditorum (1975) 2,399 ft²	West Building Greenhouse (1975)	East Weight Room Addition (1976) 5,718 ft ²	Center Building Addition (1981) 64,731 ft ²	East Classroom Addition (1981) 7,122 ft ²	Classroom	Wing Addition	West Wing Addition Board Offices (1981) 13,770 ft ²	Performing Arts Center (2002) 16,344 ft ²	Performing Arts Center Seating (2002) 8,055 ft ²	Sum	Comments
Tuckpointing:	\$8.80	sq.ft. (Qtv)		1,500 Required			1,200 Required		2,000			140	1,800 Required	40 Required		20	40 Required			\$59,312.00	(wall surface)
Exterior Masonry	\$1.76			15,000 Required			12,000 Required		Required 748 Required			Required 2,800 Required	18,000	4,000 Required		2,180	4,360 Required	12,656 Required	4,904 Required	\$134,900.48	
Cleaning: Exterior Masonry	\$1.17	sq.ft. (Qty)		15,000 Required			12,000 Required		748 Required			2,800 Required	18,000 Required	4,000 Required		2,180 Required	4,360 Required	12,656 Required	4,904 Required	\$89,678.16	(wall surface)
Sealing: Exterior Caulking:	\$8.80	ln.ft.							300 Required			100 Required	600 Required	100 Required		25 Required	75 Required			\$10,560.00	(removing and replacing)
Replace Brick Veneer System:	\$41.04	sq.ft. (Qty)		150 Required			50 Required		20 Required				20 Required							\$9,849.60	(total removal and replacement including pinning and
Lintel Replacement:	\$293.18	ln.ft.		38 Required			38 Required		100 Required				60 Required	46 Required			60 Required			\$100,267.56	removal and replacement including pinning and
Other: Infill Brick @ Unit Ventilators	\$49.00	sq.ft. (Qty)		84 Required			101 Required		100 Required	748 Required			70 Required							\$54,047.00	shoring) Infill Brick @ Unit Ventilators
	\$50,000.00	allowance		Required																\$50,000.00	
Other: Repair ramp and retaining walls	\$10,000.00	allowance																Required		\$10,000.00	Repair ramp and retaining wall assembly at PAC
Other: Repair Roof Overhang	\$20,000.00	unit							1 Required				1 Required							\$40,000.00	Repair Roof Overhang
Other: Repalce metal siding	\$16.50	sq.ft. (Qty)		6,200 Required			1,300 Required													\$123,750.00	Replace metal siding
Other: Replace edge trim and cap flashings	\$18.40	ln.ft.		40 Required			70 Required													\$2,024.00	Replace edge trim in conjunction with siding replacement
Sum:			\$684,388.80	\$231,598.84	\$0.00	\$0.00	\$86,599.84	\$0.00	\$77,470.44	\$36,652.00	\$0.00	\$10,316.00	\$115,701.60	\$26,438.2	\$0.00	\$6,783.40	\$31,377.60	\$47,082.08	\$14,368.72		replacement





Typical CMU wall Metal siding

I. Structure: Floors and Roofs

Description:

The floor construction of the base floor of the overall facility is concrete slab-on-grade. The floor construction of intermediate mezzanine levels at the overall facility varies per addition and consists of prefabricated concrete decking and concrete supported on metal deck, and steel bar joist framing. The roof construction at the overall complex varies per addition and consists of tectum or panelized deck system over steel bar joist and metal decking over steel bar joist framing. Ceiling clearance to structural deck is approximately 18"-36" in Classroom areas of the overall building. The systems are generally in satisfactory condition. No issues or concern were reported by District Administration.

1 Satisfactory Rating:

Existing conditions require no renovation or repair at the present time. Recommendations:

Item	Cost	Unit \	Whole	Original	Original	Original	East	East Wing	Original	Original	Original	East	Center	East	East	West	West	Performing	Performing	Sum Comments
		E	Building	East	East	East	Wing	Addition	West	West	West	Weight	Building	Classroom	Classroom	Wing	Wing	Arts	Arts	
				Building	Building	Building	Addition	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Addition	Center	Center	
				(1967)	Gym.	I.S.	(1970)	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Board	(2002)	Seating	
				93,386	Mezzanine	Mezzanine	36,646	(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731	7,122 ft ²	(1981)	7,263	Offices	16,344 ft ²	(2002)	
				ft ²	(1967)	(1967)	ft ²	863 ft ²		2,399 ft ²	363 ft ²	5,718	ft ²		805 ft ²	ft ²	(1981)		8,055 ft ²	
					4,310 ft ²	1,267 ft ²						ft ²					13,770			
																	ft ²			
Other: 4"	\$19.50	sq.ft.							200											\$3,900.00 Equipment
Concrete		(Qty)							Required											Pads in
Equipment																				Mechanical
Pads																				Room
Other:	\$6.00	sq.ft.							321											\$1,926.00 Mechanical
Mechanical		(Qty)							Required											Room
Room																				Floor
Floor																				Patch
Patch																				
Sum:		5	\$5,826.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$5,826.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	





Pre-fab concrete deck

Joist framing and metal deck

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J. General Finishes

Description:

The majority of the complex features a conventional partitioned classroom design utilizing CMU wall partitions, gypsum stud wall partitions and panelized demountable partition systems. A portion of the Classroom areas are equipped with moveable partitions to permit flexibility of Classroom space. Typical finishes vary throughout the complex and are a combination of newer and dated assemblies, and do not provide a unified scheme throughout the facility. The interior of the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions were renovated at select areas of the facilities in 2002. Improvements included renovation of a portion of science classrooms, conversion of an existing Auditorium space to art classroom studios, locker replacement, select door replacements, ADA toilet fixture improvements and corridor floor and ceiling improvements. Toilet renovations included fixture replacement to accommodate ADA access at a portion of the large group toilet facilities, but typically did not include finish replacement or improvements. The updated finishes now exceed 14+ years of age and display evidence of wear in some areas. Casework improvements were limited to science classroom areas. The majority of existing casework is plastic laminate and appears to be original. There is little casework in Classrooms. The majority of the interior doors throughout the 1967-1981 Additions are equipped with knob hardware. A limited quantity of door assemblies are equipped with lever hardware. A portion of the existing door assemblies do not conform to the provisions of the ADA/ANSI Guidelines due to recessed or narrow openings. Door sidelights and borrow light openings are typically equipped with wire glass. Typical finishes at Classrooms consist of VAT, VCT, carpet and luxury vinyl tile flooring, painted CMU, painted gypsum stud walls and demountable partitioned wall framing, and acoustical ceilings. Typical Corridor finishes consist of resilient sheet and VCT flooring, painted CMU, painted gypsum stud walls and demountable partition wall framing and acoustic ceilings. The existing demountable partitions are typically dated installations but are being well maintained and are generally in satisfactory condition. Doors installed within these assemblies display signs of wear in some locations. The assemblies exceed 35+ years of age and have generally reached their useful life expectancy. Typical toilet room finishes consist of VAT, VCT, CMU, quarry tile and porcelain mosaic tile flooring, glazed CMU, painted CMU, plaster, gypsum and tile wall finishes, acoustical and painted hard surface ceilings. A portion of the toilet partitions are solid resin in good condition but the majority of toilet partitions are metal and generally dated. The Gymnasiums have athletic flooring and exposed ceilings. The primary Gym was renovated in 2011. The Media Center is equipped with luxury vinyl tile flooring, painted wall surfaces and acoustical ceiling, and recently renovated. The existing luxury vinyl flooring provided at select Classroom spaces is a recent improvement to these areas. The Kitchens are full service kitchens and their combined area is inadequately sized based upon current enrollment. The majority of the existing kitchen equipment is original or installed before 1996 and exceeds 20+ years of age. The 2016 asbestos surveillance report identifies the complex is known to contain 9" and 12" ACM vinyl tile flooring and mastic, and ACM mastic under non-ACM flooring. The 2002 PAC Addition provides a pleasant and cohesive design. The Addition receives less traffic than the primary education spaces throughout the remaining complex and finishes are typically in good condition. The Addition contains a fully automatic fire suppression system and does not require disturbance of existing ceiling areas. Finishes throughout the PAC consist of VCT, carpet tile, and stained concrete flooring, painted wall surfaces, painted exposed ceilings and acoustical ceiling systems. The PAC Addition was generally designed to comply with provision of the ADA/ANSI Guidelines. Doors throughout this portion of the complex are equipped with compliant/lever hardware and provide adequate maneuvering clearance.

Rating:

3 Needs Replacement

Recommendations:

Updated finishes and lockers are in good condition, but modifications at existing door recesses to provide required accessible maneuvering clearance will disturb a portion of the existing lockers, and replacement of remaining dated finishes approaches 2/3 the cost of full replacement. Provide complete replacement of kitchen equipment at the 1967 and 1975 Additions. Provide complete replacement of finishes, casework, worn and damaged doors and dated toilet partitions throughout the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions due to age, condition and installation of systems outlined in Plates A, C, D, E, K, L, M, N, T and U. Replace ceiling at the 1975 Original West Building Auditorium due to work outlined at Plates U. Replace demountable partitions at the 1975 and 1981 Additions. The existing conditions at the 2002 PAC Addition require no renovation or repair at the current time. 3/19/19 RPC Update: Per the Architect's Challenge report: 1) provide for complete replacement of finishes and casework in the 1981 West Wing, 2) delete the line item replacing the acoustic ceiling tile replacement, 3) increase the "new fixed seating" cost from \$220 to \$320/seat and 4) increase the "re-upholster existing seats" to \$150/seat. 5-15-19 RPC Update: Replace the items removed for hazardous materials per the EEHA report.

			Whole Building	Original East Building (1967) 93,386 ft ²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	East Building	East Wing Addition (1970) 36,646 ft ²	Addition I.S. Mezzanine	Original West Building (1975) 68,505 ft ²	West Building Auditorum (1975) 2,399 ft ²	West Building	East Weigh Room Addition (1976) 5,718 ft ²	t Center Building Addition (1981) 64,731 ft ²	East Classroom Addition (1981) 7,122 ft ²	East Classroom Addition Mezzanine (1981) 805 ft ²	Addition (1981)	West Wing Addition Board Offices (1981) 13,770 ft ²	Performing Arts Center (2002) 16,344 ft ²	Performing Arts Center Seating (2002) 8,055 ft ²		Comments
Acoustic Ceiling:	\$5.28	sq.ft. (Qty)								2,399 Required										\$12,666.72	(partial finish tear out and replace
Carpet:	\$8.21	sq.ft. (Qty)								2,399 Required									3,300 Required	\$46,788.79	per area) (partial finish - tear-out and replace
Complete Replacement of Finishes and Casework (High):		sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required			Required	Required	Required	Required	Required	Required			\$9,585,115.14	per building area, with removal of existing)
Toilet Partitions:	\$1,172.70			1 Required					4 Required				1 Required			3 Required				\$10,554.30	0(removing and replacing)
Resilient Wood/Synthetic Flooring	\$15.07	(Qty)							7,588 Required												(tear-out and replace per area)
Remove Demountable Partitions / Install New GWB Partitions:	\$10.55	(Qty)							22,845 Required							3,500 Required					Sincludes the demolition of the demountable partition, new partition with 5/8" abuse board, 10' high walls braced to structure above and the use of existing electric and data runs; unit price is based on floor area)
Additional Wall Insulation	\$7.04	sq.ft. (Qty)		15,000 Required			12,000 Required	20,000 Required	748 Required			2,800 Required	18,000 Required	4,000 Required		2,180 Required	4,360 Required			\$606,059.52	(includes the furring out of the existing walls, insulation and abuse resistant GWB)
Laboratory Table / Countertop Replacement	\$175.91	ln.ft.		160 Required					360 Required											\$91,473.20	O(Hazardous Material Replacement Cost - See
Door and Window Panel Replacement	\$234.54	each		45 Required					10 Required							40 Required	d			\$22,281.30	(Hazardous Material Replacement Cost - See
Non-ACM Acoustical Panel Ceiling Replacement	\$1.76	sq.ft. (Qty)								192 Required										\$337.92	2(Hazardous Material Replacement Cost - See T.)
Total Kitchen Equipment Replacement:	\$222.81	sq.ft. (Qty)		2,833 Required					1,461 Required											\$956,746.14	disquare footage based upon only existing area of food preparation, serving, kitchen storage areas and walk-ins. Includes demolition and removal of existing kitchen equipment)
Other: New Fixed Seating Other: Paint		per unit sq.ft.								200 Required 2,399										\$64,000.00 \$4,798.00	New Fixed Seating Paint
Portions of Auditorium Other:	\$150.00	(Qty)								Required									1,112		Portions of Auditorium Re-upholster
Re-upholster Existing Seats Sum:			\$11,959,911.9	4\$3,717,418.47	\$135,721.90	\$39,897.83	\$1,238,462.5	4 \$167,975.87	\$2,913,743.49	\$101,498.4	3\$0.00	\$199,771.8	2\$2,166,271.8	39\$252,431.78	\$74,629.45	\$293,883.7	7\$464,311.70	\$0.00	Required \$193,893.00		Existing Seats





Casework

Demountable partitions

K. Interior Lighting

Description:

The typical Classrooms in the East House are equipped with 4-lampT-8 2x4 lay-in fluorescent fixtures with "egg crate" panels, and dual level switching. Classroom fixtures are in fair condition, providing an average illumination of 50-55 FC, thus complying with the 40 FC recommended by the OSDM. The typical Classrooms in the Center House are equipped with 4-lampT-8 2x4 lay-in fluorescent fixtures (some 2x2) with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 35-42 FC, mostly complying with the 40 FC recommended by the OSDM. The typical Classrooms in the West House are equipped with 4-lampT-8 2x4 lay-in fluorescent fixtures with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 40 FC, thus complying with the 40 FC recommended by the OSDM. The typical Corridors in the overall facility are equipped with T-8 2x4 lay-in fluorescent fixtures with single level switching, generally via circuit breakers (few key switches). Corridor fixtures are in good condition, providing an average illumination of 25 FC, thus complying with the 20 FC recommended by the OSDM. The East House Gymnasium is equipped with 6-lamp T5 suspended fluorescent fixtures, in good condition, with remote toggle switches, providing an average illumination of 50 FC, thus complying with the 50 (HS) FC recommended by the OSDM. The West House Gymnasium is equipped with 4-lamp 2x4 suspended fluorescent fixtures, in good condition, with circuit breaker switching, providing an average illumination of 45 FC, thus complying with the 50 (HS) FC recommended by the OSDM. The Student (Media) Center is equipped with 4-lampT-8 2x4 and 4x4 lay-in fluorescent fixtures fluorescent fixture type lighting in very good condition, providing an average illumination of 35-40 FC, thus complying with the 30 FC recommended by the OSDM. The Student Dining spaces are equipped with 4-lampT-8 2x4 lay-in fluorescent fixtures with single level switching, primarily via circuit breakers. Student Dining fixtures are in good condition. The East House dining lighting provides an average illumination of 53 FC, and the West House 40 FC, thus complying with the 40 FC recommended by the OSDM. The Kitchen spaces in the East House are equipped with 1x4 surface mount wrap-around and 2x4 lay-in T8 fluorescent fixture type lighting with single level switching. Kitchen fixtures are in fair condition, providing an average illumination of 40-50 FC, thus overall less than the 50 FC recommended by the OSDM. The Kitchen spaces in the West House are equipped with 4- and 2-lamp (Serving) 2x4 lay-in fluorescent fixture type lighting with single level switching. Kitchen fixtures are in good condition, providing an average illumination of 28-35 FC, providing inadequate illumination based on OSDM's recommendation of 50 FC. The typical Administrative spaces in the overall facility are equipped with 2x4 lay-in T8 fluorescent fixture type lighting in good condition, providing adequate illumination based on OSDM requirements. PAC is provided with Quartz Halogen fixtures in the auditorium, and T8 fluorescent fixtures in other areas (via 2x4 and 1x4 fixtures). Incandescent fixtures are provided at make-up benches. Lights are in good condition, and there were no complaints on lighting levels in this addition. The overall lighting systems of the facility are not fully compliant with Ohio School Design Manual requirements due to age and condition, inadequate lighting levels, and lack of multi-level switching in some areas.

Rating: 3 Needs Replacement

Recommendations:

Provide complete replacement of lighting system due to replacement of the HVAC System and/or addition of fire suppressions systems, except in PAC area

Item	Cost Unit	Whole	· 0	riginal	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
		Buildir	ng E	ast	East	East	Addition	Addition	West	West	West	Weight	Building	Classroom	Classroom	Addition	Addition	Arts	Arts		
			- В	uilding	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	(1981)	Board	Center	Center		
			(1	1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	(2002)	Seating		
			9:	3,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)		(1981)	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Complete	\$7.62sq.ft.	(of	R	lequired	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$2,340,467.76	Includes
Building	entire									1		· ·					· ·				demo of
Lighting	buildi	ng																			existing
Replacement	additi	on)																			fixtures
Sum:		\$2,340	0.467.76\$	711.601.32	\$32.842.20	\$9,654.54	\$279,242,52	\$6.576.06	\$522,008.10	\$18,280,38	\$2,766,06	\$43,571,16	\$493,250,22	\$54,269,64	\$6.134.10	\$55,344.06	\$104.927.40	00.02	\$0.00		





L. Security Systems

Description:

The overall facility contains a security system with interior and exterior cameras, motion sensors, alarm system and access control at select entries. The security system is not adequately provided throughout, and the system is not fully compliant with Ohio School Design manual guidelines. Many of the existing devices are ceiling mounted and will be disturbed by system improvements. The exterior site lighting system is equipped with surface mounted entry and wall lights. Building mounted fixtures are typically dated at later additions. Parking areas are illuminated with pole lighting. The exterior site lighting system provides limited coverage of the site.

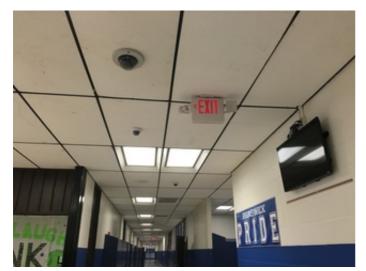
3 Needs Replacement Rating:

Provide complete replacement of the security system to meet the Ohio School Design Manual guidelines and due to installation of systems Recommendations:

outlined at Items K and U. Replace dated exterior fixtures and upgrade exterior site lighting. 3-19-19 RPC Update: Add a secure vestibule

entrance to control visitor access into the building, per the recommendations of the Architect.

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
			Building	East	East	East			West	West		Weight	Building	Classroom	Classroom	Addition	Addition	Arts	Arts		
				Building	Building	Building	(1970)					Room	Addition				Board	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	(2002)	Seating		
				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)		(1981)	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Security	\$3.34	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$1,107,366.98	complete,
System:		entire																			area of
		building																			building)
		addition)																			
Exterior Site		sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$387,909.99	
Lighting:		entire																			area of
		building																			building)
		addition)																			
	\$250,000.00	allowance	1						Required											\$250,000.00	
SECURE																					modification
VESTIBULE																					at main
																					entrance in
																					1975
				L									L								addition.
Sum:			\$1,745,276.97	7\$421,170.86	\$\$19,438.10	\$5,714.17	\$165,273.46	\$3,892.13	\$558,957.55	\$10,819.49	\$1,637.13	\$25,788.18	3\$291,936.8	1\$32,120.22	\$3,630.55	\$32,756.13	\$62,102.70	0 \$73,711.44	\$36,328.05		





Ceiling mounted cameras

Pole lights

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M. Emergency/Egress Lighting

Description:

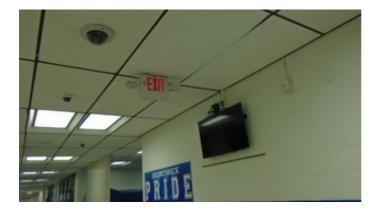
The overall facility is equipped with an emergency egress lighting system consisting of some OSDM compliant red lettered, cast aluminum construction, LED illuminated exit signs and emergency floodlighting. The system is in fair condition, and is generally not provided with appropriate battery backup. The system is not adequately provided throughout, and does not meet Ohio School Design Manual and Ohio Building

Code requirements because it is not connected to an emergency generator.

3 Needs Replacement Rating:

Recommendations: Provide complete replacement of emergency / egress lighting system to meet Ohio School Design Manual guidelines.

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West	West Wing	Performing	Performing	Sum	Comments
			Building	East	East	East	Addition	Addition	West	West	West	Weight	Building	Classroom	Classroom	Wing	Addition	Arts	Arts		
				Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Board	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Offices	(2002)	Seating		
				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)	7,263 ft ²	(1981)	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Emergency/Egres	s\$1.17	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$387,909.99	(complete,
Lighting:		entire																			area of
		building																			building)
		addition)																			
Sum:			\$387,909.99	\$109,261.62	\$5,042.70	\$1,482.39	\$42,875.82	\$1,009.71	\$80,150.85	\$2,806.83	\$424.71	\$6,690.06	\$75,735.27	\$8,332.74	\$941.85	\$8,497.71	\$16,110.90	\$19,122.48	\$9,424.35		





Exit/Emergency Combo

West House Gym Emergency Light and Exit Sign

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N. Fire Alarm

Description:

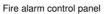
The overall facility is equipped with a FCI 7200 Series fire alarm system, installed in 2001 and in fair condition, consisting of manual pull stations / bells / horn and strobe indicating devices, with the main Control Panel located in the Center House and satellite panels in the East House, the West House, and the PAC. The system is automatic and is monitored by a third party. Classrooms do not gave audio/visual strobes. The PAC areas of the building are code-compliant, but if the remainder of the building fire alarm system is replaced, the devices in the PAC will require replacement as well to be compatible with the new system through out the building. The system is not fully compliant with Ohio Building Code, NFPA, and Ohio School Design Manual requirements.

3 Needs Replacement Rating:

Provide new fire alarm system in all areas including the PAC, due to other system renovations, and to meet OBC, NFPA, and Ohio School Design Recommendations:

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
				East			Addition		West					Classroom					Arts		
			-	Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	(1981)	Board	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	(2002)	Seating		
				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)		(1981)	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Fire	\$3.52	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$1,167,045.44	(complete
Alarm		entire																			new
System:		building																			system,
		addition))																		including
																					removal of
																					existing)
Sum:			\$1,167,045.44	\$328,718.72	\$15,171.20	\$4,459.84	\$128,993.92	\$3,037.76	\$241,137.60	\$8,444.48	\$1,277.76	\$20,127.36	\$227,853.12	\$25,069.44	\$2,833.60	\$25,565.76	\$48,470.40	\$57,530.88	\$28,353.60		







Fire alarm activation & notification devices

O. Handicapped Access

Description:

There is not an accessible route connecting all areas of the site, but a path of travel is generally provided from accessible parking areas. A portion of the exterior entrances are not accessible due to pavement level changes exceeding accessibility requirements. Access from the main parking area to the main building entry is not compromised by steps. Adequate handicapped parking is not provided. The main entry to the complex is not equipped with an ADA power assist door. The exterior entrance/egress ramp at the 1981 East Classroom Addition is not provided with continuous handrail assembly and ramp pavement is deteriorated. Space allowances and reach ranges of the interior building are not compliant in all areas of the complex. There is an accessible route through the majority of Corridors and limited portion of spaces, but some areas/spaces/Classrooms are not accessible due to inadequate accessibility clearances and/or non-ADA compliant door hardware. The facility is primarily a one-story structure but access to the 1967 Gymnasium Mezzanine and instructional space Mezzanine at the 1970 Addition are only accessible by non-conforming stair assemblies. The stage at the 1975 Auditorium and tiered platform at the 1981 Music/Band Classroom are equipped with temporary/non-conforming ramps providing access to elevated floor levels. The tiered platform at the 1975 Music Classroom is not accessible. Many of the interior doors providing access to Classrooms or primary spaces are equipped with non-ADA compliant knob style hardware. A portion of Classroom doors are recessed, toilets and secondary space entrances are not provided with required maneuvering clearance or have narrow openings. Placement of lockers impedes side clearance at a portion of non-recessed door openings. A portion of toilet facilities have been renovated to provide accessible accommodations but do not fully conform to the provisions of the ADA or ANSI Guidelines in all areas. A portion of the modifications are incomplete or are an inappropriate application of the ADA Guidelines. All accessible toilets are lacking vertical grab bars at water closets and nearly all accessible lavatories do not provide insulation/protection at exposed piping. The location of flush valves at accessible water closets obstruct grab bar installation or grab bars are lacking in their entirety, in several areas. The majority of drinking fountains are not accessible and/or do not provide dual height accommodations. Mirrors and toilet accessories are often installed outside compliant reach ranges. ADA signage is not provided consistently throughout the overall complex. The 2002 PAC Addition is generally compliant with the provisions of the ADA/ANSI Guidelines and provides access throughout this building Addition. Doors are typically equipped with lever hardware and adequate maneuvering clearance. Toilet facilities were designed to provide accessible accommodations but are lacking vertical grab bars at all water closets. The facility is equipped with accessible drinking fountains that provide dual-height accommodation. Level changes within the Addition are facilitated by conforming ramps and a lift which provides access to the stage level. The ramp pavement surface at the exterior entrance/egress ramp has settled or was not properly graded and does not comply with landing and cross slope limitations.

Rating:

3 Needs Replacement

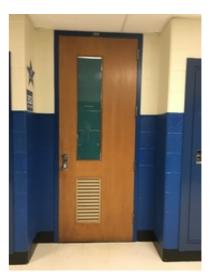
Recommendations:

Provide ADA compliant signage, power assist door opening, ramps, lifts, toilets, sinks, urinals, toilet partitions, toilet accessories mounted within reach range limitations, doors and frames and accessible hardware in the 1967 Original East Building, 1970 Addition, 1975 Original West Building, 1976 Addition and 1981 Additions to conform to the provisions of the ADA/ANSI Guideline requirements. Provide vertical grab bars at existing accessible water closets and new flush valves and grab bar assemblies at non-conforming accessible water closet assemblies. Insulate piping at non-conforming accessible lavatories. Provide vertical grab bars at all water closets at the 2002 PAC Addition. Refer to Plate H for funding for repair of the existing ramp assembly at the PAC Addition. Refer to Plate P for funding for replacement of exterior hand/guardrail assemblies and pavement repairs.

Item	Cost		Whole Building	East	East	East		Addition	West	Original West	West	East Weight	Center Building		Classroom	Addition	Addition	Arts	Performing Arts	Sum	Comments
			_	Building (1967) 93,386 ft ²	Gym.			Mezzanine			Building Greenhouse (1975) 363 ft ²	Room Addition (1976) 5,718 ft ²	Addition (1981) 64,731 ft ²	Addition (1981) 7,122 ft ²	Addition Mezzanine (1981) 805 ft ²	(1981) 7,263 ft ²	Board Offices (1981) 13,770 ft ²	(2002) 16,344 ft ²	Center Seating (2002) 8,055 ft ²		
Signage:		sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$76,255.81	(per building area)
Ramps:	\$46.91	sq.ft. (Qty)							150 Required				165 Required							\$14,776.65	(per ramp/interior-exterior complete)
Lifts:	\$17,590.50				1 Required	1 Required		1 Required												\$52,771.50	
Toilet/Urinals/Sinks:				24 Required			5 Required		12 Required				9 Required	4 Required			5 Required			\$285,200.64	
Toilet Partitions:	\$1,172.70	stall		5 Required			2 Required		4 Required				4 Required			2 Required	I2 Required			\$22,281.30	(ADA - grab bars, accessories included)
ADA Assist Door & Frame:	\$8,795.25			1 Required																	(openers, electrical, patching, etc)
Replace Doors:	\$1,524.51	leat		120 Required	6 Required		31 Required	2 Required	106 Required	6 Required	l2 Required		114 Required	12 Required		5 Required	Required				(standard 3070 wood door, HM frame, door/light, includes hardware)
Replace Doors:	\$5,863.50	leaf		6 Required					14 Required												(rework narrow opening to provide 3070 wood door, HM frame, door/light, includes hardware)
Replace Doors:	\$5,863.50	leaf		28 Required					2 Required												(rework opening and corridor wall to accommodate ADA standards when door opening is set back from edge of corridor and cannot accommodate a wheelchair.)
Remount Restroom Mirrors to Handicapped Height:	\$334.22	per restroom							2 Required				3 Required							\$1,671.10	,
Provide ADA Shower:	\$3,518.10	each		4 Required					4 Required												(includes fixtures, walls, floor drain, and supply line of an existing locker room)
Provide Toilet Accessories:	\$1,172.70	restroom		10 Required									6 Required	2 Required	i	2 Required	l			\$23,454.00	
Other: Insulate piping		allowance							Required				Required							·	Insulate exposed piping
Other: Provide grab bars		allowance							Required				Required							\$1,000.00	vertical/horizontal grab bars
Other: Repair ramp	\$2,500.00	allowance								Required				Required							Repair ramp curb and pavement and provide a continuous handrail/gaurdrail
Sum:		•	\$1,483,810.4	5\$551,187.37	\$27,728.86	\$17,881.91	\$80,315.09	\$20,838.01	\$351,863.47	\$12,198.83	\$3,132.51	\$1,315.14	\$250,008.42	\$42,602.62	\$185.15	\$36,265.14	\$82,676.16	\$3,759.12	\$1,852.65		



Non-conforming water closet



Non-conforming recessed door

P. Site Condition

Description:

Brunswick High School is located in a suburban commercial area and is part of a multi-school campus. School buses load/unload along a separated drive that shares common points of ingress/egress with other vehicular traffic. There are separate and suitable locations available for parent drop-off. The existing concrete drive apron off Center Road is in poor condition. There is also concrete paving in a front service court in poor condition. Asphalt paving overall is in fair condition. The westernmost drive/parking & the large west lot in front of the school are in poor condition. The large rear parking lot appears to have never received a finish course of asphalt and has several settling utility trenches crossing it. There appears to be an adequate number of standard parking spaces but the east lot & the rear lot lack sufficient code-compliant accessible parking. Curb and concrete sidewalk are in fair to poor condition and existing curb ramps are not code compliant. New sidewalk is needed in a few locations to provide required connectivity and new handrails are needed along an access ramp at the rear of the building and 1981 Classroom Addition. There are no dumpster pads on the site. Existing catch basins which lie within paved areas need concrete collars. Site drainage appears adequate.

Rating:

2 Needs Repair

Recommendations:

The existing concrete drive apron off Center Road should be replaced. Asphalt paving in the front west loop, west entrance drive, east parking lot, service drive & rear parking lot should be overlaid. Parking along the front west loop, the east drop off lane, the south parking lot and the east entrance drive should be milled and overlaid. Full depth repair should be provided as needed, ranging from 5% to 40% of the overall surface area. The west front parking lot and the drive and parking along the west end of the school should be fully replaced. In conjunction with the re-striping following pavement overlay, 3 additional ADA parking spaces should be added to the east lot and 8 ADA parking spaces should be provided in the rear lot, including striping and signage. Damaged or failing curb & sidewalk should be replaced; and ramps and detectable warnings should be provided at appropriate locations. Sidewalk should also be added as needed to for connectivity. Dumpster pads should be installed and concrete collars should be provided at all catch basins in asphalt pavement. 3-19-19 RPC Update: Per the Architect's Challenge Report, adjust the square yards for the heavy duty, light duty and new wearing course.

tem	Cost	Unit	Whole Building	Original East Building	Original East	Original East	East Wing Addition	East Wing Addition	Original West	Original West	Original West	East Weight	Center Building	East Classroom	East Classroom	West Wing	West Wing Addition	Performing Arts Center	Performing	Sum	Comments
			Building	(1967) 93,386 ft ²	Building Gym.	Building I.S. Mezzanine (1967)	(1970) 36,646 ft ²	I.S. Mezzanine (1970) 863 ft ²	Building	Building Auditorum (1975) 2,399 ft ²	Building Greenhous (1975) 363 ft ²	Room	Addition (1981) 64,731 ft ²	Addition (1981) 7,122 ft ²	Addition Mezzanine (1981) 805 ft ²	(1981)	Board Offices (1981) 13,770 ft ²	(2002) 16,344 ft ²	Center Seating (2002) 8,055 ft ²		
leplace xisting sphalt		sq. yard		8,126 Required		1,267 ft ² 290 Required	3,192 Required		5,779 Required	203 Required	58 Require	d493 Required	5,659 Required	580 Required	58 Required	609 Required	1,161 Required	1,451 Required	726 Required	\$1,040,304.72	drainage / tear out fo
aving (heavy uty):		<u> </u>		5.044		100				100		1000		070						4000 150 11	heavy duty asphalt)
Replace Existing Asphalt Paving (light luty):	\$33.54	sq. yard		5,311 Required	189 Required	189 Required	2,086 Required	208 Required	3,793 Required	132 Required	37 Require	Required	3,698 Required	379 Required	45 Required	398 Required	758 Required	948 Required	474 Required	\$636,153.18	drainage / tear out fo light duty asphalt)
sphalt Paving / New Vearing Course:	\$22.28	sq. yard		7,323 Required	261 Required	261 Required	2,877 Required	287 Required	5,231 Required	183 Required	52 Require	d444 Required	5,100 Required	523 Required	52 Required	549 Required	1,046 Required	11,307 Required	654 Required	\$805,422.00	minor crack repair in less than 5% of paved
Bus Drop-Off or High	\$80.62	per student		2,226 Required																\$179,460.12	of students should be rounded up to the nearest 100. 40 students per bus; 50% of high
Concrete	\$37.53	n ft		500 Required	23	7 Required	197	5 Required	367	13	2 Required	31	347	39	5 Required	139	74 Required	1137	39	\$68,492.2	school students riding)
Curb: Concrete	\$8.80	sq.ft.		500 Hequired	Required 622	448	Required 2,474	425	Required 4,299	Required 513	396	Required 703	Required 4,083	Required 783	422	Required 416	1,164	Required 1,836	Required 791	\$170,500.00	0(5 inch
Sidewalk:	ØE0 40	(Qty)		100 Deguired	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$10.096.00	exterior slab)
Exterior Hand Guard Rails: Provide	\$50.43 \$2,931.75			100 Required 4 Required											100 Required					\$10,086.00 \$11,727.00	
xterior Parking Lot	\$2,931.75	eacn		4 nequired																\$11,727.00	
Catch Basin: Provide Concrete Dumpster Pad:	\$2,814.48	each		3 Required																\$8,443.44	4(for two dumpsters
ad. Jase Sitework Allowance for Jnforeseen Circumstances		allowance	e	Required																\$50,000.00	Oinclude this and one of the next two. (Applies for whole building, so only one addition should have this
Sitework Allowance for Inforeseen Circumstances or buildings 00,000 SF or arger	\$150,000.00	allowance	е	Required																\$150,000.00	item) Oinclude this one oi the previous. (Applies for whole building, so only one addition should have this
Other: ADA	\$1,000.00	per unit		11 Required																\$11,000.00	item)
Parking Space Other: Concrete	\$70.00	sq. yard		193 Required	9 Required	3 Required	76 Require	d2 Required	141 Required	5 Required	1 Required	12 Required	134 Required	15 Required	2 Required	115 Required	29 Required	53 Required	115 Required	\$49,350.00	service
Pavement Other: Concrete	\$1,200.00	per unit		15 Required								'		<u> </u>		<u> </u>			<u> </u>	\$18,000.00	areas
structure collar Other: Pavement		sq. yard		1,580 Required		22 Required	620 Required	15 Required	1,159 Required	41 Required	7 Required	97 Required	1,095 Required	121 Required	14 Required	123 Required	233 Required	432 Required	123 Required	\$120,855.00	0required
Ailling Other: Provide detectable	\$500.00	per unit		8 Required	nequired	nequired	nequirea	Required	nequired	Required		nequired	nequired	nequired	Required	required	nequirea	nequired	Required	\$4,000.00	0required
varnings Other: Provide Storm Retention	\$35,000.00	allowance	e	Required																\$35,000.00	Provide Storm Retention
Basin Other: Replace Storm	\$45,000.00	allowance	e	Required																\$45,000.00	Basin
Piping Other: Site	\$1,000.00	per unit		14 Required								-	-							\$14,000.00	Piping
ADA Ramps	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	[.71\$1,229,976.82					1						1	1	1	1	1	, 500.00	, 50





Front/west lot pavement damage

Rear east courtyard walk damage

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Q. Sewage System

The sanitary sewer system is tied in to the city system, and is in good condition. No significant system deficiencies were reported by the school district or noted during the physical assessment. Description:

1 Satisfactory Rating:

Existing conditions require no renovation or replacement at the present time. Recommendations:

Item	Cost	UnitWhole	Original	Original	Original	East	East Wing	Original	Original	Original	East	Center	East	East	West	West	Performing	Performing	Sum(Comments
		Building	East	East	East	Wing	Addition	West	West	West	Weight	Building	Classroom	Classroom	Wing	Wing	Arts	Arts		
			Building	Building	Building	Addition	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Addition	Center	Center		
			(1967)	Gym.	I.S.	(1970)	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Board	(2002)	Seating		
			93,386	Mezzanine	Mezzanine	36,646	(1970)	68,505	(1975)	(1975)	(1976)	64,731	7,122 ft ²	(1981)	7,263	Offices	16,344 ft ²	(2002)		
			ft ²	(1967)	(1967)	ft²	863 ft ²	ft ²	2,399 ft ²	363 ft ²	5,718	ft²		805 ft ²	ft²	(1981)		8,055 ft ²		
				4,310 ft ²	1,267 ft ²						ft ²					13,770				
																ft²				
Sum	:	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		





Cleanout Cleanout

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R. Water Supply

Description:

The domestic water supply system is tied in to the municipal system, features 4-inch service and 4-inch water meter, and is in good condition. The existing domestic water service does meet the facility's current needs. The facility is not equipped with an automated fire suppression system, and the existing water supply will not provide adequate support for a future system. The domestic water service is not equipped with a water booster pump. The system does not provide adequate pressure and capacity for the future needs of the school. PAC is provided with a dedicated water supply and a dedicated fire suppression supply, which are adequate for that addition.

1 Satisfactory Rating:

Provide a new city water supply line of adequate capacity to support the existing needs of the facility, as well as a future automated fire Recommendations:

suppression system. Funding provided in Item U. Water supply to the PAC is adequate (verify BFP).

Iten	n C	ostUnit	Whole	Original	Original	Original	East	East Wing	Original	Original	Original	East	Center	East	East	West	West	Performing	Performing	SumC	omments
			Building	East	East	East	Wing	Addition	West	West	West	Weight	Building	Classroom	Classroom	Wing	Wing	Arts	Arts		
				Building	Building	Building	Addition	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	Addition	Addition	Center	Center		
				(1967)	Gym.	I.S.	(1970)	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	(1981)	Board	(2002)	Seating		
				93,386	Mezzanine	Mezzanine	36,646	(1970)	68,505	(1975)	(1975)	(1976)	64,731	7,122 ft ²	(1981)	7,263	Offices	16,344 ft ²	(2002)		
				ft²	(1967)	(1967)	ft²	863 ft²	ft²	2,399 ft ²	363 ft ²	5,718	ft²		805 ft²	ft²	(1981)		8,055 ft ²		
					4,310 ft ²	1,267 ft ²						ft²					13,770				
	\perp																ft²				
Sur	n:		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		





BFP branch water supply

Main water BFP

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S. Exterior Doors

Description:

Typical exterior doors at the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions are a combination of aluminum entry systems, FRP and steel hollow metal construction installed on aluminum and hollow metal frames. Many of the exterior door assemblies are not thermally efficient and feature single pane uninsulated glazing inclusive of newly renovated FRP door panels. The exterior doors at the 2002 PAC Addition are a combination of aluminum entry systems and insulated hollow metal construction installed on aluminum and hollow metal frames. Typical exterior doors feature dual glazed vision panels. The majority of the door assemblies are in satisfactory condition. The 1967 Building contains an overhead door assembly. The assembly is dented and in fair condition.

3 Needs Replacement Rating:

Replace all exterior, deteriorated and damaged and thermally inefficient doors at the 1967 Original Building, 1970 Addition, 1975 Addition, and 1981 Additions inclusive of the overhead door assembly. Existing conditions at the 2002 PAC Addition require no repair or replacement at the Recommendations:

current time. 5-15-19 RPC Update: Replace fire doors that were removed per the EEHA report.

Item	Cost	Unit	Whole	Original	Original	Original	Fast Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wind	West	Performing	Performina	Sum	Comments
							Addition		West		West		Building	Classroom			Wing	Arts	Arts		
						Building	(1970)		Building		Building		Addition		Addition		Addition	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Board	(2002)	Seating		
				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)		Offices	16,344 ft ²	(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		(1981)		8,055 ft ²		
					4,310 ft ²	1,267 ft ²											13,770 ft ²				
	\$2,931.75	per		6 Required			12		12			2		6 Required		6 Required				\$205,222.50	
Leaf/Frame		leaf			Required		Required		Required			Required	Required								removal of
and																					existing)
Hardware:																					
	\$4,104.45	r		1 Required																\$4,104.45	
doors and		leaf																			sectional,
hardware:																					manual
Fire Door	\$1.289.97			10	5 Required				10	4		4	10			4 Required	4				operation) (Hazardous
Replacement		eacn		Required	o nequired				1	Required		Required	Poquired			4 Required	Required				Material
nepiacement				nequireu					nequireu	nequireu		nequireu	nequireu				nequireu				Replacemen
																					Cost - See
																					T.)
Sum:			\$267,375.60	\$34.594.65	\$47,494,35	\$0.00	\$35,181.00	\$0.00	\$48,080.70	\$1 289 97	\$0.00	\$7 153 47	\$48 080 70	\$17,590.50	\$0.00	\$22,750.38	\$5 159 88	00.02	\$0.00		





Typical door

Typical door

T. Hazardous Material

Description:

The School District provided the AHERA 6-Month Asbestos Surveillance Report, prepared by Brumbauch-Henrick Inc., dated June 2, 2016, documenting known and assumed locations of asbestos and other hazardous materials at the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions. The report does not identify the quantities of the known or suspected hazardous containing materials. The 2002 PAC Addition is not reported to contain asbestos and other hazardous materials. Enhanced Environmental Assessment (EEA) will need to be performed by OSFC EEA Consultant to establish final scope and budget.

3 Needs Replacement Rating:

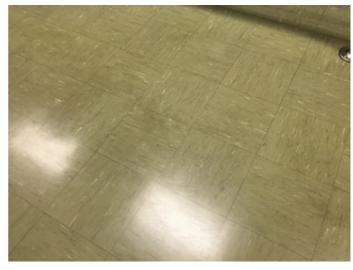
Remove all hazardous materials, inclusive of asbestos-containing materials in the overall facility, as noted in the attached Environmental Recommendations:

Hazardous Assessment. The values/quantities of hazardous materials identified are based upon prior assessment reports since current hazardous material assessment reports were not available. Independent Enhanced Environmental Assessment Consultant to determine final

scope and budget.

tom	Coot	Linit	Mholo	Driginal	Original	Driginal	East Mina	East Mina	Original	Original	Original	Foot	Contor	East	East	Most Mina	Most Mina	Dorforming	Dorformina	le.um	Commonto
Item	Cost		Whole Building	Original East	Original East	Original East	Addition	East Wing Addition	West	Original West	Original West	East Weight	Center Building	East Classroom	East Classroom		West Wing Addition		Periorming Arts	Dum	Comments
		li	Juliulity			Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	(1981)	Board		Center		
					Gym.	I.S.	36,646 ft ²	Mezzanine			Greenhouse		(1981)	(1981)	Mezzanine		Offices		Seating		
				93,386 ft ²		Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)	,	(1981)		(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Environmental Hazards				EEHA Form	<u>EEHA</u>	<u>EEHA</u>	EEHA_	<u>EEHA</u>	EEHA Form	EEHA_	EEHA Form		EEHA_	<u>EEHA</u>	EEHA_	<u>EEHA</u>	EEHA_	EEHA_	<u>EEHA</u>	-	
Form					Form .	<u>Form</u>	Form	<u>Form</u>		Form		Form	<u>Form</u>	Form	Form	Form .	<u>Form</u>	Form .	Form		
Estimated Cost For	\$1.17			5,000	0	0	0 Required	0	0 Required	0	0 Required	0	0 Required	0 Required		0 Required	0 Required	0 Required	0 Required	\$5,850.00	9
Abatement Contractor to		unit		Required	Required	Required		Required		Required		Required			Required						
Perform Lead Mock-Ups		_							h D										0.00	05.050.00	
Special Engineering Fees	\$1.17			5,000	0	Di	0 Required		0 Required	0	0 Required		0 Required	U Required		U Required	0 Required	o Required	o Required	\$5,850.00	1
for LBP Mock-Ups Fluorescent Lamps &	\$0.12	unit				Required	00.040	Required 863	68,505	Required 2,399	363	Required 5,718	C4 791	7 100	Required 805	7 000	13,770	16,344	8,055	\$39,785.64	4
Ballasts	φυ. 12	(Qty)		93,386 Required	4,310 Required	1,267 Required	36,646 Required	Required		Required			64,731 Required	7,122 Required		7,263 Required			Required	φ39,765.64	1
Recycling/Incineration		(Giy)		required	required	required	required	required	required	required	riequireu	required	required	required	required	required	required	required	riequireu		
Pipe Fitting Insulation	\$29.32	each		500	50	n	0 Required	n	200	5	0 Required	5	0 Required	0 Required	10	0 Required	0 Required	0 Required	0 Required	\$22,283.20	1
Removal	Ψ23.02	Cacii			Required	Required	o ricquirec	Required		Required	o ricquirca	Required	o mequiree	o ricquirec	Required	o ricquirec	io ricquircu	o ricquired	o ricquircu	ΨΕΕ,ΕΟΟ.ΕΥ	1
Pipe Fitting Insulation	\$41.04	each		100	0	0	0 Required		0 Required	0	0 Required		0 Required	0 Required		0 Required	0 Required	0 Required	0 Required	\$4,104.00)
Removal	*				Required	Required		Required		Required		Required			Required					• .,	1
(Crawlspace/Tunnel)				1		1 4 1		- 4				,.									
Pipe Insulation Removal	\$22.28	ln.ft.		1,868	0	0	733	0	1,370	48	0 Required	115	0 Required	0 Required	10	0 Required	0 Required	0 Required	0 Required	\$92,105.52	2
(Hidden in Walls/Ceilings)				Required	Required	Required	Required	Required	Required	Required		Required			Required					' '	
Dismantling of	\$2,345.40	each		5 Required	0	0	0 Required	0	0 Required	0	0 Required	0	0 Required	0 Required	10	0 Required	0 Required	0 Required	0 Required	\$11,727.00)
Boiler/Furnace/Incinerator					Required	Required		Required		Required		Required			Required						
Flexible Duct Connection	\$117.27	each		15 Required	0	0	0 Required	0	35 Required	0	0 Required	0	0 Required	0 Required	0	0 Required	0 Required	0 Required	0 Required	\$5,863.50)
Removal					Required	Required		Required		Required		Required			Required						
Gypsum Board Removal	\$7.04	sq.ft.		3,500	0	0	0 Required	0	0 Required	0	Required	0	0 Required	0 Required	10	0 Required	2,000	0 Required	0 Required	\$38,720.00	See J
		(Qty)		Required	Required	Required		Required		Required		Required			Required		Required				
Laboratory Table/Counter	\$117.27	each		40 Required		þ	0 Required		90 Required		Required	0	0 Required	0 Required		0 Required	0 Required	0 Required	0 Required	\$15,245.10	See J
Top Removal					Required	Required		Required		Required		Required			Required						
Cement Board Removal	\$5.86			50 Required		þ	0 Required		200	0	0 Required	0	0 Required	0 Required		0 Required	0 Required	0 Required	0 Required	\$1,465.00)
		(Qty)			Required	Required			Required	Required		Required			Required						
Fire Door Removal	\$117.27	each		10 Required		<u> </u>	0 Required		10 Required		0 Required	1	10	0 Required		4 Required	4 Required	0 Required	0 Required	\$5,277.15	See S
D 1947 1 D 1	0447.0	<u>.</u>		h	Required	Required	n n ·	Required	45 D	Required			Required		Required		10	0.00			
Door and Window Panel	\$117.27	each		0 Required	0	<u> </u>	0 Required		45 Required		0 Required		0 Required	0 Required		10	40	0 Required	0 Required	\$11,140.65	See J & F
Removal	\$3.52	J		1.000	Required	Requirea	0.0	Required	h D	Required		Required	0.0				Required		0.0	********	
Decontamination of Crawlspace/Chase/Tunnel	\$3.52	(Qty)			n Required	Dogwirod	0 Required	Required	0 Required	Required	0 Required	U Required	U Required	0 Required	Required	U Required	0 Required	o Required	o Required	\$3,520.00	1
Non-ACM Ceiling/Wall	\$2.35			7,502	nequired	nequireu	2,932	nequired	5,408	192	0 Required	460	0 Poquirod	0 Required		n Poquirod	n Poquirod	n Doguirod	n Doguirod	\$38,760.90	Soo I
Removal (for access)	φ2.00	(Qty)			Required	Boguirod		Required		Required	o mequireu	Required	o riequired	U Hequirec	Required	o riequireo	io riequireu	o riequireu	o i tequileu	\$30,700.30	Dec 3
Resilient Flooring	\$3.52				50	n	12.500	n	22.000	n	0 Required	n	5.500	2.180	n	2.800	6.000	n Required	n Required	\$302,825.60	See I
Removal, Including Mastic	ψ0.02	(Qty)			Required	Required		Required		Required	o ricquirca	Required			Required		Required	o ricquired	o ricquircu	0002,020.00	0
Acoustical Tile Mastic	\$3.52			0 Required	0	0	0 Required		0 Required	0	0 Required		0 Required		0		0 Required	0 Required	0 Required	\$211.20	1
Removal	70.0-	(Qty)			Required	Required		Required		Required		Required			Required					1 *	
Sink Undercoating	\$117.27			10 Required		0	0 Required		0 Required	0	0 Required	0	0 Required			0 Required	1 Required	0 Required	0 Required	\$1,289.97	1
Removal					Required	Required		Required		Required		Required			Required						
Other: EHA ACM Other	\$1.00	per		10,000	<u> </u>					<u> </u>		<u>'</u>			l '					\$10,000.00	Chalkboard
		unit		Required																' '	
Other: EHA ACM Other	\$1.00						6,000													\$6,000.00	Chalkboard
		unit					Required														
Other: EHA ACM Other	\$1.00												7,000							\$7,000.00	Chalkboard
		unit											Required								
Other: EHA ACM Other	\$1.00													1,500						\$1,500.00	Chalkboard
		unit												Required							
Other: EHA ACM Other	\$1.00															1,500				\$1,500.00	Chalkboard
		unit										1				Required	1				1
Other: EHA ACM Other	\$1.00								25,000					1						\$25,000.00	Duct Masti
		unit							Required												
Other: EHA ACM Other	\$1.00															1,500				\$1,500.00	Duct Masti
OII		unit		-			-		-	-	1	-	-		-	Required	0.000			00.000.	
Other: EHA ACM Other	\$1.00																2,000			\$2,000.00	Duct Masti
211 101 101	A4 00	unit		20.000													Required			****	
Other: EHA ACM Other	\$1.00			20,000																\$20,000.00	
OII		unit		Required			-		h= 000	-		-	-		-		-			005 005 5	Handlers
Other: EHA ACM Other	\$1.00								25,000											\$25,000.00	
Other: EUA Other Li	Ø1 00	unit		10.000		-	-	-	Required	-	1	-	-		-		-			£10,000.00	Handlers
Other: EHA Other Hazard	\$1.00	per unit		10,000 Required																φ10,000.00	Radioactiv
			171E EQ4 40	Required \$313.094.31	¢0 745 55	£152.04	£77 £10 00	¢102 EC	\$207.037.60	en 070 00	£42 EC	£4 E02 00	3\$35.300.42	£10 220 4	ene en	01E 200 2	\$44.129.55	01 001 00	tocc co		Exit Signs
Sum:																					





9" VAT 12" VAT

Back to Assessment Summary

U. Life Safety

Description:

The overall facility is not equipped with a compliant automated fire suppression system, except at the PAC. The Kitchen hood is in good condition, and is equipped with the required UL 300-compliant wet chemical fire suppression system. The required 6-inch overhang of the cooking equipment is provided by the hood. Kitchen hood exhaust ductwork is of proper construction / material / insulation / and/or installed as required by the Ohio School Design Manual (OSDM) and Ohio Building Code Mechanical Code (OBCMC). The facility is not equipped with an emergency generator. The existing water supply is provided by a tie-in to the municipal system, and is insufficient to meet the future fire suppression needs of the school. The facility is equipped with non-conforming guardrail assemblies at the mezzanine stairs.

Rating:

3 Needs Replacement

Recommendations:

Provide new automated fire suppression system to meet OSDM guidelines. Provide increased water service of a capacity sufficient to support the fire suppression system, funding included in fire suppression funding. Provide an emergency generator, funding provided at plate D. Existing conditions at the 2002 PAC Addition requires no renovation or repair at the current time. Provide new guardrail assemblies to conform to the provisions of the OBC and accessibility requirements.

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
			Building	East	East	East	Addition	Addition	West	West	West	Weight	Building	Classroom	Classroom	Addition	Addition	Arts	Arts		
				Building	Building	Building	(1970)	I.S.	Building		Building	Room	Addition	Addition	Addition	(1981)	Board	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)		Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices		Seating		
				93,386 ft ²		Mezzanine			68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²	7,122 ft ²	(1981)		(1981)		(2002)		
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
Sprinkler /	\$4.40	sq.ft.		93,386	4,310	1,267	38,646	863	68,505	2,399	363	5,718	64,731	7,122	805	7,263	13,770			\$1,360,251.20	(includes
Fire		(Qty)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required				increase
Suppression	1																				of service
System:																					piping, if
																					required)
Water Main	\$58.64	∦n.ft.		1,000																\$58,640.00	(new)
				Required																	
Handrails:	\$5,863.50	level				2 Required		1												\$17,590.50	þ
								Required													
	\$5,000.00)per		1 Required																\$5,000.00	Backflow
Backflow		unit																			Preventer
Preventer																					
Sum:			\$1,441,481.7	0\$474,538.40	\$18,964.00	\$17,301.80	\$170,042.4	\$9,660.70	\$301,422.0	0\$10,555.60	\$1,597.20	\$25,159.20	\$284,816.4	0\$31,336.80	\$3,542.00	\$31,957.20	\$60,588.00	\$0.00	\$0.00		





Suppression head

2011 Suppression system

Back to Assessment Summary

V. Loose Furnishings

The typical Classroom furniture at the Original Building is a combination of newer and dated furnishings, and in generally fair to good condition. The facility's furniture and loose equipment were evaluated in Item 6.17 in the CEFPI section of this report, and on a scale of 1 to 10 the overall facility received a rating of 7 due to observed conditions. Description:

3 Needs Replacement Rating:

Provide for replacement of outdated or inadequate furniture. 3-19-19 RPC Update: Replace the furnishings in the 1981 West Wing Addition, per Recommendations:

the recommendations from the District's Architect.

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
			Building	East	East	East	Addition	Addition	West			Weight	Building	Classroom	Classroom	Addition	Addition	Arts	Arts		
				Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	(1981)	Board	Center	Center		
				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	(2002)	Seating		
				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64,731 ft ²		(1981)			16,344 ft ²			
					(1967)	(1967)		863 ft ²		2,399 ft ²	363 ft ²	5,718 ft ²			805 ft ²		13,770 ft ²		8,055 ft ²		
					4,310 ft ²	1,267 ft ²															
CEFP	\$7.62	sq.ft. (of		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$2,340,467.76	
Rating	g	entire																			
0 to 3		building																			
		addition)																			
Sum:			\$2,340,467.76	\$711,601.32	\$32,842.20	\$9,654.54	\$279,242.52	\$6,576.06	\$522,008.10	\$18,280.38	\$2,766.06	\$43,571.16	\$493,250.22	\$54,269.64	\$6,134.10	\$55,344.06	\$104,927.40	\$0.00	\$0.00		





Classroom furniture

Classroom furniture

Facility Assessment

W. Technology

The typical Classrooms at the overall complex are equipped with interactive white boards, projectors, 2-way PA system and central dock system. Data ports are provided at classrooms but appear abandoned where technology connections are provided by wireless access. Description:

3 Needs Replacement Rating:

Provide complete replacement throughout the complex of technology systems to meet Ohio School Design Manual requirements, and to sustain the capacity to keep pace with technological development. Recommendations:

Item	Cost	Unit	Whole	Original	Original	Original	East Wing	East Wing	Original	Original	Original	East	Center	East	East	West Wing	West Wing	Performing	Performing	Sum	Comments
'			Building	East	East	East	Addition	Addition	West	West	West	Weight	Building	Classroom	Classroom	Addition	Addition	Arts Center	Arts		
'				Building	Building	Building	(1970)	I.S.	Building	Building	Building	Room	Addition	Addition	Addition	(1981)	Board	(2002)	Center		
'				(1967)	Gym.	I.S.	36,646 ft ²	Mezzanine	(1975)	Auditorum	Greenhouse	Addition	(1981)	(1981)	Mezzanine	7,263 ft ²	Offices	16,344 ft ²	Seating		
'				93,386 ft ²	Mezzanine	Mezzanine		(1970)	68,505 ft ²	(1975)	(1975)	(1976)	64.731 ft ²	7.122 ft ²	(1981)		(1981)		(2002)		
'				· ·	(1967)	(1967)		863 ft ²		2.399 ft ²	363 ft ²	5.718 ft ²		-	805 ft ²		13.770 ft ²		8,055 ft ²		
'					4,310 ft ²	1,267 ft ²											-,				
HS	\$9.38	sq.ft.		93,386	4,310	1,267	36,646	863	68,505	2,399	363	5,718	64,731	7,122	805	7,263	13,770	16,344	8,055	\$3,109,910.86	5
portion		(Qty)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required		
of						· .	· ·														
building																					
with																					
total SF																					
I																					
200,400																					
Sum:			\$3,109,910.86	\$875,960.68	\$40,427.80	\$11,884.46	\$343,739.48	\$8,094.94	\$642,576.90	\$22,502.62	\$3,404.94	\$53,634.84	\$607,176.78	\$66,804.36	\$7,550.90	\$68,126.94	\$129,162.60	\$153,306.72	\$75,555.90		





Interactive display board

Projector

Back to Assessment Summary

Facility Assessment

X. Construction Contingency / Non-Construction Cost

Renovat	ion Costs (A-W)	\$67,987,122.86
7.00%	Construction Contingency	\$4,759,098.60
Subtotal		\$72,746,221.46
16.29%	Non-Construction Costs	\$11,850,359.48
Total Pro	pject	\$84,596,580.94

Total for X.	\$16,609,458.08
Non-Construction Costs	\$11,850,359.48
Construction Contingency	\$4,759,098.60

Non-Construction Costs Breakdown		
Land Survey	0.03%	\$21,823.87
Soil Borings / Phase I Envir. Report	0.10%	\$72,746.22
Agency Approval Fees (Bldg. Code)	0.25%	\$181,865.55
Construction Testing	0.40%	\$290,984.89
Printing - Bid Documents	0.15%	\$109,119.33
Advertising for Bids	0.02%	\$14,549.24
Builder's Risk Insurance	0.12%	\$87,295.47
Design Professional's Compensation	7.50%	\$5,455,966.61
CM Compensation	6.00%	\$4,364,773.29
Commissioning	0.60%	\$436,477.33
Non-Construction Contingency (includes partnering and mediation services)	1.12%	\$814,757.68
Total Non-Construction Costs	16.29%	\$11,850,359.48

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School Facility Appraisal - Brunswick City

Name of Appraiser		Monica Bruaw		Date of Appra	isal	2016-07-13	
Building Name		Brunswick High					
Street Address		3581 Center Rd					
City/Town, State, Zip Code		Brunswick, OH 44212					
Telephone Number(s)		330-273-0230					
School District		Brunswick City					
Setting:		Suburban					
Site-Acreage	86.26				Building Squa	re Footage	331,547
Grades Housed	9-12				Student Capa	city	1,888
Number of Teaching Stations	128				Number of Flo	oors	1
Student Enrollment	2226						
Dates of Construction	1967,1967,19	967,1970,1970,1975,1975,	1975,1976,1981,1981,1981,1981,	981,2002,2002			
Energy Sources:		☐ Fuel Oil	Gas	☐ Electric		☐ Solar	
Air Conditioning:		☐ Roof Top	☐ Windows Units	Central		☐ Room U	Jnits
Heating:		Central	☐ Roof Top	☐ Individual U	Jnit	☐ Forced	Air
		Hot Water	☐ Steam				
Type of Construction		Exterior Surfacing		Floor Const	ruction		
Load bearing masonry		B rick		☐ Wood Jo	ists		
Steel frame		☐ Stucco		Steel Joi	sts		
☐ Concrete frame		Metal		Slab on	grade		
□ Wood		□ Wood		Structura	al slab		
Steel Joists		☐ Stone					

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LEED Observation Notes

School District: Brunswick City

County: Medin School District IRN: 43661

Brunswick High

Building IRN: 3970

Sustainable Sites

Construction process can have a harmful effect on local ecology, especially when buildings are build on productive agricultural, wildlife or open areas. Several measures can be take however to prevent the impact on undeveloped lands or to improve previously contaminated sites. Appropriate location reduces the need for private transportation and helps to prevent an increase in air pollution. Developing buildings in urban areas and on brownfield sites instead of greenfield locations has economical and environmental benefits. Controlling stormwater runoff and erosion can prevent the worsening of water quality in receiving bodies of water and the impact on aquatic life. Once the building is constructed, it's important to decrease heat island effects and reduce the light pollution on the site.

(source: LEED Reference Guide, 2001:9)

Water Efficiency

In the US ca. 340 billion gallons of fresh water are withdrawn daily from surface sources, 65% of which is discharged later after use. Water is also withdrawn from underground aquifers The excessive usage of water results in the current water deficit, estimated at 3,700 billion gallons. Water efficiency measures in commercial buildings can reduce water usage by at least 30%. Low-flow fixtures, sensors or using non potable water for landscape irrigation, toilet flushing and building systems are just some of available strategies. Not only do they result in environmental savings, but also bring about financial benefits, related to lower water use fees, lower sewage volumes to treat and energy use reductions.

(source: LEED Reference Guide, 2001:65)

Energy & Atmosphere

Buildings in the US account for more than 30% of the total energy use and for approximately 60% of electricity. 75% of energy is derived from the burning of fossil fuels, which releases CO2 into the Atmosphere and contributes to global warming. Moreover, coal fired electric utilities release nitrogen oxides and sulfur dioxide, where the former contribute to smog and the latter to acid rain. Other types of energy production are not less harmful. Burning of natural gas produces nitrogen oxides and greenhouse gases as well, nuclear power creates nuclear wastes, while hydroelectric generating plants disrupt natural water flows. Luckily there are several practices that can reduce energy consumption and are environmentally and economically beneficial. Not only will they reduce the air pollution and mitigate global warming thanks to being less dependent on power plants, but also they will reduce operational costs and will quickly pay back. In order to make the most of those practices, it's important to adopt a holistic approach to the building's energy load and integrate different energy saving strategies.

(source: LEED Reference Guide, 2001:93)

Material & Resources

The steps related to process building materials, such as extraction, processing and transportation are not environmentally natural, as they pollute the air, water and use natural resources. Construction and demolition wastes account for 40% of the solid waste stream in the US. Reusing existing documents is one of the best strategies to reduce solid wastes volumes and prevents then from ending up at landfills. It also reduces habitat disturbance and minimizes the need for the surrounding infrastructure. While using new materials one should take into account different material sources. Salvaged materials exings on material costs, recycled content material minimizes waste products and local materials reduce the environmental impact of transportation. Finally, using rapidly renewable materials and certified wood decreases the consumption of natural resources. Recycling and reusing construction waste is another strategy to be taken into consideration in sustainable design.

(source: LEED Reference Guide, 2001:167)

Indoor Environmental Quality

As we spend a big majority of our time indoors, the emphasis should be put on optimal indoor environmental quality strategies while (re)designing a building. Otherwise, a poor IEQ will have adverse effects on occupants' health, productivity and quality of life. IEQ strategies such as ventilation effectiveness and control of contaminants or a building flush-out prior to occupancy can reduce potential liability, increase the market value of the building but can also result in a significantly higher productivity (16%). Other strategies involve automatic sensors and controls, introducing fresh air to the building or providing lots of daylighting views.

(source: LEED Reference Guide, 2001:215)

Innovation & Design Process

This category is aimed at recognizing projects that implemented innovative building features and sustainable building knowledge, and whose strategy or measure results exceeded those which are required by the LEED Rating System. Expertise in sustainable design is the key element of the innovative design and construction process.

(source: LEED Reference Guide, 2001:271)

Environmental Hazards Assessment Cost Estimates

Owner:	Brunswick City
Facility:	Brunswick High
Date of Initial Assessment:	Jul 13, 2016
Date of Assessment Update:	Jun 18, 2019
Cost Set:	2022

District IRN:	43661
Building IRN:	3970
Firm:	Regency Construction Services, Inc. (formerly PCS/Regency)

Scope remains unchanged after cost updates.

Building Addition	Addition Area (sf)	Total of Environmental Hazards Assessment Cost Estimates				
Building Addition	Addition Area (SI)	Renovation	Demolition			
1967 Original East Building	93,386	\$382,594.31	\$370,894.31			
1967 Original East Building Gym. Mezzanine	4,310	\$2,745.55	\$2,745.55			
1967 Original East Building I.S. Mezzanine	1,267	\$152.04	\$152.04			
1970 East Wing Addition	36,646	\$71,618.96	\$71,618.96			
1970 East Wing Addition I.S. Mezzanine	863	\$103.56	\$103.56			
1975 Original West Building	68,505	\$157,037.60	\$157,037.60			
1975 Original West Building Auditorum	2,399	\$2,072.39	\$2,072.39			
1975 Original West Building Greenhouse	363	\$43.56	\$43.56			
1976 East Weight Room Addition	5,718	\$4,593.23	\$4,593.23			
1981 Center Building Addition	64,731	\$28,300.42	\$28,300.42			
1981 East Classroom Addition	7,122	\$8,739.44	\$8,739.44			
1981 East Classroom Addition Mezzanine	805	\$96.60	\$96.60			
1981 West Wing Addition	7,263	\$12,369.34	\$12,369.34			
1981 West Wing Addition Board Offices	13,770	\$42,129.55	\$42,129.55			
2002 Performing Arts Center	16,344	\$1,961.28	\$1,961.28			
2002 Performing Arts Center Seating	8,055	\$966.60	\$966.60			
Total	331,547	\$715,524.43	\$703,824.43			
Total with Regional Cost Factor (110.06%)	_	\$787,506.19	\$774,629.17			
Regional Total with Soft Costs & Contingency	_	\$979,896.31	\$963,873.40			

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original East Building

Owner: Brunswick City Bldg. IRN: 3970

 Facility:
 Brunswick High
 BuildingAdd:
 Original East Building

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Materia
ACM Found	Status	Quantity		Estimated Cost
Boiler/Furnace Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$11.73	\$0.00
Breeching Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Reported Asbestos-Containing Material	500	\$29.32	\$14,660.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Reported / Assumed Asbestos-Free Material	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Reported Asbestos-Containing Material	100	\$41.04	\$4,104.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Assumed Asbestos-Containing Material	1868	\$22.28	\$41,619.0
10. Dismantling of Boiler/Furnace/Incinerator	Assumed Asbestos-Containing Material	5	\$2,345.40	\$11,727.00
11. Flexible Duct Connection Removal	Assumed Asbestos-Containing Material	15	\$117.27	\$1,759.0
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported Asbestos-Containing Material	3500	\$7.04	\$24,640.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Reported Asbestos-Containing Material	40	\$117.27	\$4,690.80
18. Cement Board Removal	Assumed Asbestos-Containing Material	50	\$5.86	\$293.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	10	\$117.27	\$1,172.70
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Assumed Asbestos-Containing Material	1000	\$3.52	\$3,520.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Assumed Asbestos-Containing Material	7502	\$2.35	\$17,629.70
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.0
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	35000	\$3.52	\$123,200.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Reported Asbestos-Containing Material	10	\$117.27	\$1,172.70
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. Chalkboards	Assumed Asbestos-Containing Material	lun	np sum	\$10,000.00
37. Other Air Handlers	Assumed Asbestos-Containing Material	lun	np sum	\$20,000.00
38. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Renov	ation Work		\$280,187.99
39. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Demol	ition Work		\$280,187.99

99. (Sum of Lines 1-37)		I Otal As	SD. Hazard Abate	ement Cost for Demolition	n work	\$280,187.99
B. Removal Of Underground Storage	e Tanks					None Reported
Tank No.	Location	Age	Produc	ct Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)	tal Cost For Ren	noval Of Underground St	orage Tanks	\$0.00		
C. Lead-Based Paint (LBP) - Renovation 1. Estimated Cost For Abatement Contract	ctor to Perform Lead Mock	-Ups			☐ Additio	on Constructed after 1980 \$5,000.00
 Special Engineering Fees for LBP Mod (Sum of Lines 1-2) 	k-Ups		Total Co.	st for Lead-Based Paint N	look Uno	\$5,000.00 \$11,700.00
5. (Suiti of Lifles 1-2)			Total Co	Still Leau-Daseu Failt N	iock-ops	\$11,700.00
D. Fluorescent Lamps & Ballasts Recy	cling/Incineration					☐ Not Applicable
Area Of Building Addition		Square Feet w/Fluore	scent Lamps & B	Ballasts	Unit Cost	Total Cost
1. 93386	93386				\$0	.12 \$11,206.32
E. Other Environmental Hazards/Rema	rks	D 11				□ None Reported
L B :: :: 5 :: 0:		Description				Cost Estimate
						\$10,000.00
1. Radioactive Exit Signs	ol Coat for Other Environ	montal Hazarda Da	novotion			¢10,000,00
2. (Sum of Lines 1-1) Tota	al Cost for Other Environ					\$10,000.00 \$10,000.00

F. Environmental Hazards Assessment Cost Estir	mate Summaries	
1. A38, B1, C3, D1, and E2	Total Cost for Env. Hazards Work - Renovation	\$313,094.31
2. A39, B1, D1, and E3	Total Cost for Env. Hazards Work - Demolition	\$301,394.31

 $^{^{\}star} \ \text{INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):}$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- b. Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"×12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original East Building Gym. Mezzanine

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original East Building Gym. Mezzanine

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Original East Building Gym. Mezzanine

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

1. Boiler/Furnace Insulation Removal Not Present 0 2. Breeching Insulation Removal Not Present 0 3. Tank Insulation Removal Not Present 0 4. Duct Insulation Removal Not Present 0 5. Pipe Insulation Removal Reported / Assumed Asbestos-Free Material 0 6. Pipe Fitting Insulation Removal Reported Asbestos-Containing Material 50 7. Pipe Insulation Removal (Crawlspace/Tunnel) Not Present 0 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 15. Hard Plaster Removal Not Present 0 16. Not Present 0 17. Present 0 18. Pipe Insulation Removal Not Present 0 19. Not Present 0 10. Not Present 0 10. Not Present 0 10. Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0	\$11.73 \$11.73 \$9.38 \$9.38 \$16.42 \$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$0.00 \$0.00 \$1,466.00 \$0.00 \$0.00 \$0.00
2. Breeching Insulation Removal Not Present 0 3. Tank Insulation Removal Not Present 0 4. Duct Insulation Removal Not Present 0 5. Pipe Insulation Removal Reported / Assumed Asbestos-Free Material 0 6. Pipe Fitting Insulation Removal Reported Asbestos-Containing Material 50 7. Pipe Insulation Removal (Crawlspace/Tunnel) Not Present 0 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$11.73 \$9.38 \$9.38 \$16.42 \$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$0.00 \$0.00 \$1,466.00 \$0.00 \$0.00 \$0.00
3. Tank Insulation Removal Not Present 0	\$9.38 \$9.38 \$16.42 \$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$0.00 \$1,466.00 \$0.00 \$0.00 \$0.00
4. Duct Insulation Removal 0 5. Pipe Insulation Removal Reported / Assumed Asbestos-Free Material 0 6. Pipe Fitting Insulation Removal Reported Asbestos-Containing Material 50 7. Pipe Insulation Removal (Crawlspace/Tunnel) Not Present 0 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 15. Present 0 16. Present 0 17. Present 0 18. Present 0 19. Present 0	\$9.38 \$16.42 \$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$1,466.00 \$0.00 \$0.00 \$0.00 \$0.00
5. Pipe Insulation Removal Reported / Assumed Asbestos-Free Material 0 6. Pipe Fitting Insulation Removal Reported Asbestos-Containing Material 50 7. Pipe Insulation Removal (Crawlspace/Tunnel) Not Present 0 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 16. Hard Plaster Removal Not Present 0 17. Present 0 18. Pipe Insulation Removal Not Present 0 19. Not Present 0	\$16.42 \$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$1,466.00 \$0.00 \$0.00 \$0.00 \$0.00
6. Pipe Fitting Insulation Removal Reported Asbestos-Containing Material 50 7. Pipe Insulation Removal (Crawlspace/Tunnel) Not Present 0 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 14. Hard Plaster Removal Not Present 0 15. Present 0 16. Present 0 17. Present 0 18. Present 0 19. Present 0 19. Present 0 19. Present 0 10. Present 0	\$29.32 \$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$1,466.00 \$0.00 \$0.00 \$0.00 \$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel) 8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) 10. Dismantling of Boiler/Furnace/Incinerator 11. Flexible Duct Connection Removal 12. Acoustical Plaster Removal Not Present Not Present Not Present Not Present 0 13. Fireproofing Removal Not Present	\$18.76 \$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$0.00 \$0.00
8. Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Not Present 0 9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$41.04 \$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00 \$0.00
9. Pipe Insulation Removal (Hidden in Walls/Ceilings) Not Present 0 10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$22.28 \$2,345.40 \$117.27 \$8.21	\$0.00 \$0.00
10. Dismantling of Boiler/Furnace/Incinerator Not Present 0 11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$2,345.40 \$117.27 \$8.21	\$0.00
11. Flexible Duct Connection Removal Not Present 0 12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$117.27 \$8.21	
12. Acoustical Plaster Removal Not Present 0 13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0	\$8.21	
13. Fireproofing Removal Not Present 0 14. Hard Plaster Removal Not Present 0		\$0.00
14. Hard Plaster Removal Not Present 0		\$0.00
	\$29.32	\$0.00
45 O Beaut Beauty	\$8.21	\$0.00
15. Gypsum Board Removal Not Present 0	\$7.04	
16. Acoustical Panel/Tile Ceiling Removal Not Present 0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal Not Present 0	\$117.27	\$0.00
18. Cement Board Removal Not Present 0	\$5.86	\$0.00
19. Electric Cord Insulation Removal Not Present 0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal Not Present 0	\$58.64	
21. Sheet Flooring with Friable Backer Removal Not Present 0	\$4.69	
22. Fire Door Removal Assumed Asbestos-Containing Material 5	\$117.27	\$586.35
23. Door and Window Panel Removal Not Present 0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel Not Present 0	\$3.52	\$0.00
25. Soil Removal Not Present 0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access) Not Present 0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo Not Present 0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only Not Present 0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic Reported Asbestos-Containing Material 50	\$3.52	\$176.00
30. Carpet Mastic Removal Not Present 0	\$2.35	\$0.00
31. Carpet Removal (over RFC) Not Present 0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal Not Present 0	\$3.52	\$0.00
33. Sink Undercoating Removal Not Present 0	\$117.27	\$0.00
34. Roofing Removal Reported / Assumed Asbestos-Free Material 0	\$2.35	\$0.00
35. Chalkboards/Mastic 0	\$351.81	\$0.00
36. (Sum of Lines 1-35) Total Asb. Hazard Abatement Cost for Renovation Work		\$2,228.35
37. (Sum of Lines 1-35) Total Asb. Hazard Abatement Cost for Demolition Work		\$2,228.35

B. Removal Of Underground Storage Tanks						
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost	
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground	Storage Tanks	\$0.00	
C. Lead-Based Paint (LBP) - Renovation Only						
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups						
2 Special Engineering Fees for LBP M	lnck-l Ins				\$0.00	

D. Elizanda and J. B. C. B.		
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups	\$0.00
2. Special Engineering Fees for LBP Mock-Ups		\$0.00
I. Estimated Cost For Abatement Contractor to Ferform Lead Mock-Ops		φυ.υυ

١	D. Fluorescent Lamps & Ballasts Recyclin		□ Not Applicable	
-[Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
	1. 4310	4310	\$0.12	\$517.20

E	. Other Environmental Hazards/Remarks				
П	Description				
1	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

F.	F. Environmental Hazards Assessment Cost Estimate Summaries					
1.	A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$2,745.55			
2.	A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$2,745.55			

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original East Building I.S. Mezzanine

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Original East Building I.S. Mezzanine

Date On-Site: 2019-04-08 Consultant Name: Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbest	tos Free Materia
ACM Found	Status	Quantity	Unit Cost E	stimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Not Present	0	\$16.42	\$0.00
6. Pipe Fitting Insulation Removal	Not Present	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Not Present	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Not Present	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Not Present	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Not Present	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	\$0.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renov	ation Work		\$0.00
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demo	lition Work		\$0.00

B. Removal Of Underground Storag	None Reported				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground	Storage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. I	D. Fluorescent Lamps & Ballasts Recycling/Incineration						
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost			
1.	1267	1267	\$0.12	\$152.04			

E. Other Environmental Hazards/F	lemarks	None Reported
	Cost Estimate	
1. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00
2. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00

F	. Environmental Hazards Assessment Cost Estima	ate Summaries	
1.	. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$152.04
2	. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$152.04

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Wing Addition

Owner: Brunswick City Bldg. IRN: 3970

 Facility:
 Brunswick High
 BuildingAdd:
 East Wing Addition

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)	b	la		os Free Material
ACM Found	Status	Quantity		stimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Reported / Assumed Asbestos-Free Material	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Reported / Assumed Asbestos-Free Material	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Assumed Asbestos-Containing Material	733	\$22.28	\$16,331.24
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	Ō	\$4.69	\$0.00
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
25. Soil Removal	Reported / Assumed Asbestos-Free Material	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Assumed Asbestos-Containing Material	2932	\$2.35	\$6.890.20
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	12500	\$3.52	\$44,000.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31, Carpet Bemoval (over BFC)	Not Present	n	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	ő	\$3.52	\$0.00
33. Sink Undercoating Removal	Reported / Assumed Asbestos-Free Material	o o	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	ň	\$2.35	\$0.00
35. Chalkboards/Mastic	reported / Abbarried / Abbestos-1 ree Material	ň	\$351.81	\$0.00
36. Chalkboards	Assumed Asbestos-Containing Material	lum	ip sum	\$6,000.00
37. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Renova		ip dain	\$73,221.44
38. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Demol			\$73,221.44
po. (Cum of Lines 1-50)	I Olai ASS. Hazara ASalement Cost for Denion	HOIT WOLK		Ψ10,221.44

B. Removal Of Underground Storage	B. Removal Of Underground Storage Tanks				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	torage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling		□ Not Applicable	
Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1. 36646	36646	\$0.12	\$4,397.52

E	E. Other Environmental Hazards/Remarks				
Г	Description				
1	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

. Environmental Hazards Assessment Cost Estimate Summaries					
 A37, B1, C3, D1, and E1 	Total Cost for Env. Hazards Work - Renovation	\$77,618.96			
2. A38, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$77,618.96			

 $^{^{\}star} \ \text{INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):}$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Wing Addition I.S. Mezzanine

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Wing Addition I.S. Mezzanine

Owner: Brunswick City **Bldg. IRN:** 3970

Facility: Brunswick High Building Add: East Wing Addition I.S. Mezzanine

Date On-Site: 2019-04-08 Consultant Name: Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Materia
ACM Found	Status	Quantity		Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	Ō	\$11.73	
Tank Insulation Removal	Not Present	0	\$9.38	
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Not Present	0	\$16.42	\$0.00
6. Pipe Fitting Insulation Removal	Not Present	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Not Present	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Not Present	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Not Present	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Not Present	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renov	ation Work		\$0.00
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demol	ition Work		\$0.00

B. Removal Of Underground Storag	e Tanks				None Reported
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			\$0.00		

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D.	Fluorescent Lamps & Ballasts Recycli		☐ Not Applicable	
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1.	863	863	\$0.12	\$103.56

E	. Other Environmental Hazards/R	emarks	None Reported
Г		Description	Cost Estimate
1	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00
2	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00

F	. Environmental Hazards Assessment Cost Estima	ate Summaries	
1.	. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$103.56
2	. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$103.56

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original West Building

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original West Building

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Original West Building

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AEM Ashast	os Free Material
ACM Found	Status	Quantity		stimated Cost
Boiler/Furnace Insulation Removal	Not Present	n Quartity	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Reported / Assumed Asbestos-Free Material	h	\$9.38	\$0.00
Duct Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$9.38	\$0.00
Duct insulation Removal Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Fipe Insulation Removal Pipe Fitting Insulation Removal	Assumed Asbestos-Containing Material	200	\$29.32	\$5.864.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	n	\$18.76	\$5,864.00
	Not Present	h	\$18.76	
Pipe Fitting Insulation Removal (Crawlspace/Tunnel) Pipe Fitting Insulation Removal (Utidate in Malla (Crawlspace))		1370	\$41.04	\$0.00 \$30.523.60
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Assumed Asbestos-Containing Material			
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Assumed Asbestos-Containing Material	35	\$117.27	\$4,104.45
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Reported Asbestos-Containing Material	90	\$117.27	\$10,554.30
18. Cement Board Removal	Reported Asbestos-Containing Material	200	\$5.86	\$1,172.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	10	\$117.27	\$1,172.70
23. Door and Window Panel Removal	Assumed Asbestos-Containing Material	45	\$117.27	\$5,277.15
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Assumed Asbestos-Containing Material	5408	\$2.35	\$12,708.80
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	22000	\$3.52	\$77,440.00
30. Carpet Mastic Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	ő	\$2.35	\$0.00
35. Chalkboards/Mastic	The second secon	ō	\$351.81	\$0.00
36. Duct Mastic	Reported Asbestos-Containing Material	lum	np sum	\$25.000.00
37. Other Air Handlers	Assumed Asbestos-Containing Material		np sum	\$25,000.00
38. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Renova			\$198,817.00
39. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Demoli			\$198,817.00
por 100 1 01 1 01 1	1. C.C. 7. CO. Flucture Abutomont Cost for Demon			ψ100,017.00

B. Removal Of Underground Storage Tanks					None Reported
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	Storage Tanks	\$0.00
C. Lead-Based Paint (LBP) - Renovation Only				☐ Addi	tion Constructed after 1980

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Balla		☐ Not Applicable		
Area Of Building Addi	ition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1. 68505	68505		\$0.12	\$8,220,60

E.	E. Other Environmental Hazards/Remarks					
	Description					
1.	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00			
2.	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00			

F. Environmental Hazards Assessment Cost Estimate Summaries					
 A38, B1, C3, D1, and E1 	Total Cost for Env. Hazards Work - Renovation	\$207,037.60			
A39, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$207,037.60			

 $^{^{\}star}$ INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- b. Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"×12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original West Building Auditorum

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Original West Building Auditorum

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	estos Free Materia
ACM Found	Status	Quantity	Unit Cost	Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Assumed Asbestos-Containing Material	5	\$29.32	\$146.60
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Assumed Asbestos-Containing Material	48	\$22.28	\$1,069.44
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	1	\$117.27	\$117.27
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Assumed Asbestos-Containing Material	192	\$2.35	\$451.20
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	
33. Sink Undercoating Removal	Reported / Assumed Asbestos-Free Material	0	\$117.27	
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renovat	ion Work		\$1,784.51
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demoliti	on Work		\$1,784.51

B. Removal Of Underground Storag	None Reported				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground	Storage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. I	D. Fluorescent Lamps & Ballasts Recycling/Incineration					
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost		
1.	2399	2399	\$0.12	\$287.88		

E	E. Other Environmental Hazards/Remarks					
Г	Description					
1	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00			
2	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00			

F. Environmental Hazards Assessment Cost Estimate Summaries					
1. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$2,072.39			
2. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$2,072.39			

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- b. Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"×12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Original West Building Greenhouse

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Original West Building Greenhouse

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Material		
ACM Found	Status	Quantity L		Estimated Cost		
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00		
Breeching Insulation Removal	Not Present	o l	\$11.73	\$0.00		
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00		
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00		
5. Pipe Insulation Removal	Not Present	0	\$16.42	\$0.00		
Pipe Fitting Insulation Removal	Not Present	0	\$29.32	\$0.00		
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00		
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00		
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Not Present	0	\$22.28	\$0.00		
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00		
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00		
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00		
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00		
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00		
15. Gypsum Board Removal	Not Present	0	\$7.04	\$0.00		
16. Acoustical Panel/Tile Ceiling Removal	Not Present	0	\$3.52	\$0.00		
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00		
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00		
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00		
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00		
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00		
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00		
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00		
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00		
25. Soil Removal	Not Present	0	\$175.91	\$0.00		
26. Non-ACM Ceiling/Wall Removal (for access)	Not Present	0	\$2.35	\$0.00		
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00		
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00		
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	\$0.00		
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00		
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00		
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00		
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00		
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00		
35. Chalkboards/Mastic		0	\$351.81	\$0.00		
36. (Sum of Lines 1-35)	. (Sum of Lines 1-35) Total Asb. Hazard Abatement Cost for Renovation Work					
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demoliti	on Work		\$0.00		

B. Removal Of Underground Storag	B. Removal Of Underground Storage Tanks					
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost	
1. (Sum of Lines 1-0)	Total Cost For Removal Of Underground Storage Tanks				\$0.00	

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

Б	D. Fluorescent Lamps & Ballasts Recycling/Incineration					
Г	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost		
1.	. 363	363	\$0.12	\$43.56		

E	. Other Environmental Hazards/Remarks					
П	Description					
1	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00			
2	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00			

F. Environmental Hazards Assessment Cost Estimate Summaries						
1. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$43.56				
2. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$43.56				

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- b. Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Weight Room Addition

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High BuildingAdd: East Weight Room Addition

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Material
ACM Found	Status	Quantity		Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
2. Breeching Insulation Removal	Not Present	ō	\$11.73	\$0.00
3. Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Assumed Asbestos-Containing Material	5	\$29.32	\$146.60
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Assumed Asbestos-Containing Material	115	\$22.28	\$2.562.20
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Not Present	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Not Present	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	1	\$117.27	\$117.27
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Assumed Asbestos-Containing Material	460	\$2.35	\$1,081.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	\$0.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renovati	on Work		\$3,907.07
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demolition	on Work		\$3,907.07

B. Removal Of Underground Storag	3. Removal Of Underground Storage Tanks						
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost		
1. (Sum of Lines 1-0)		Total Cost For Removal Of Underground Storage Tanks					

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling/Incineration					
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost	
1.	5718	5718	\$0.12	\$686.16	

[E. Other Environmental Hazards/Remarks					
П	Description					
F	I. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00			
	2. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00			

F. Environmental Hazards Assessment Cost Estimate Summaries					
1. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$4,593.23			
2. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$4,593.23			

 $^{{}^{\}star}\, {\tt INSPECTION}\, {\tt ASSUMPTIONS}\, {\tt for}\, {\tt Reported/Assumed}\, {\tt Asbestos\text{-}Free}\, {\tt Materials}\, ({\tt Rep/Asm}\, {\tt AFM});$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Center Building Addition

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Center Building Addition

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: Center Building Addition

Date On-Site: 2019-04-08 Consultant Name: Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Material
ACM Found	Status	Quantity	Unit Cost	Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	Ō	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345,40	\$0.00
11. Flexible Duct Connection Removal	Reported / Assumed Asbestos-Free Material	Ō	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	Ō	\$3.52	
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	Ō	\$1.17	
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	10	\$117.27	\$1,172.70
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	5500	\$3.52	\$19,360.00
30. Carpet Mastic Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Reported / Assumed Asbestos-Free Material	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	О	\$2.35	
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. Chalkboards	Assumed Asbestos-Containing Material	lun	np sum	\$7,000.00
37. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Renov		•	\$27,532.70
38. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Demol			\$27,532.70

B. Removal Of Underground Storage Tanks					None Reported
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	torage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling/Incineration					
Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost		
1. 64731	64731	\$0.12	\$7,767.72		

E	E. Other Environmental Hazards/Remarks				
Г	Description				
1	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

r	. Environmental Hazards Assessment Cost Esti	mate Summaries	
1	. A37, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$35,300.42
2	. A38, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$35,300.42

 $^{^{\}star} \ \text{INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):}$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Classroom Addition

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Classroom Addition

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High BuildingAdd: East Classroom Addition

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

ACM Found 1. Boiler/Furnace Insulation Removal	Status	T		os Free Material
Boiler/Furnace Insulation Removal		Quantity	Unit Cost E	stimated Cost
	Not Present	0	\$11.73	\$0.00
2. Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
3. Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
4. Duct Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00
6. Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Reported / Assumed Asbestos-Free Material	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	2180	\$3.52	\$7,673.60
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Assumed Asbestos-Containing Material	60	\$3.52	\$211.20
33. Sink Undercoating Removal	Reported / Assumed Asbestos-Free Material	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. Chalkboards	Assumed Asbestos-Containing Material	lum	np sum	\$1,500.00
37. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Renova			\$9,384.80
38. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Demoli	tion Work		\$9,384.80

B. Removal Of Underground Storage Tanks					None Reported
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	torage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling/Incineration					
Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost		
1. 7122	7122	\$0.12	\$854.64		

E	E. Other Environmental Hazards/Remarks				
Г	Description				
1	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

F	F. Environmental Hazards Assessment Cost Estimate Summaries					
1	. A37, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$10,239.44			
2	. A38, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$10,239.44			

 $^{^{\}star} \ \mathsf{INSPECTION} \ \mathsf{ASSUMPTIONS} \ \mathsf{for} \ \mathsf{Reported/Assumed} \ \mathsf{Asbestos\text{-}Free} \ \mathsf{Materials} \ \mathsf{(Rep/Asm} \ \mathsf{AFM)} :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - East Classroom Addition Mezzanine

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High BuildingAdd: East Classroom Addition Mezzanine

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Material
ACM Found	Status	Quantity		Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
5. Pipe Insulation Removal	Not Present	0	\$16.42	\$0.00
Pipe Fitting Insulation Removal	Not Present	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Not Present	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Not Present	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Not Present	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Not Present	0	\$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0	\$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Not Present	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Not Present	0	\$3.52	\$0.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renova	tion Work		\$0.00
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demoli	tion Work		\$0.00

B. Removal Of Underground Storag	B. Removal Of Underground Storage Tanks				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	Storage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	☐ Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

6). Fluorescent Lamps & Ballasts Recyclin		☐ Not Applicable	
Г	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1	. 805	805	\$0.12	\$96.60

E. Other Environmental Hazards/Remarks					
	Description	Cost Estimate			
1. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00			
2. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00			

F.	Environmental Hazards Assessment Cost Estima	te Summaries	
1.	A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$96.60
2.	A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$96.60

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM}) :$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - West Wing Addition

Owner: Brunswick City Bldg. IRN: 3970

 Facility:
 Brunswick High
 BuildingAdd:
 West Wing Addition

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)			AFM=Asbe	stos Free Material
ACM Found	Status	Quantity	Unit Cost	Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	
Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0	\$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0	\$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00
22. Fire Door Removal	Assumed Asbestos-Containing Material	4	\$117.27	\$469.08
23. Door and Window Panel Removal	Assumed Asbestos-Containing Material	10	\$117.27	\$1,172.70
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00
25. Soil Removal	Not Present	0	\$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	2800	\$3.52	\$9,856.00
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0	\$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00
35. Chalkboards/Mastic		0	\$351.81	\$0.00
36. Chalkboards	Assumed Asbestos-Containing Material	lun	np sum	\$1,500.00
37. Duct Mastic	Reported Asbestos-Containing Material		np sum	\$1,500.00
38. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Renov	ation Work		\$14,497.78
39. (Sum of Lines 1-37)	Total Asb. Hazard Abatement Cost for Demol	ition Work		\$14,497.78

B. Removal Of Underground Storage	Removal Of Underground Storage Tanks				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	torage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3 (Sum of Lines 1.2)	Total Cost for Load-Rased Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recyclin	g/Incineration		☐ Not Applicable
Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1. 7263	7263	\$0.12	\$871.56

E.	E. Other Environmental Hazards/Remarks				
	Description				
1.	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2.	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

F. Environmental Hazards Assessment Cost Estin	mate Summaries	
 A38, B1, C3, D1, and E1 	Total Cost for Env. Hazards Work - Renovation	\$15,369.34
2. A39, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$15,369.34

 $^{^{\}star}$ INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- b. Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"×12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - West Wing Addition Board Offices

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - West Wing Addition Board Offices

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High Building Add: West Wing Addition Board Offices

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

. Asbestos Containing Material (ACM) AFM=Asbestos Free Material					
	Status	Quantity	Unit Cost	Estimated Cost	
Boiler/Furnace Insulation Removal	Not Present	0	\$11.73	\$0.00	
Breeching Insulation Removal	Not Present	0	\$11.73	\$0.00	
Tank Insulation Removal	Not Present	0	\$9.38	\$0.00	
Duct Insulation Removal	Not Present	0	\$9.38	\$0.00	
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$16.42	\$0.00	
Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0	\$29.32	\$0.00	
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$18.76	\$0.00	
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0	\$41.04	\$0.00	
Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0	\$22.28	\$0.00	
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0	\$2,345.40	\$0.00	
11. Flexible Duct Connection Removal	Not Present	0	\$117.27	\$0.00	
12. Acoustical Plaster Removal	Not Present	0	\$8.21	\$0.00	
13. Fireproofing Removal	Not Present	0	\$29.32	\$0.00	
14. Hard Plaster Removal	Not Present	0	\$8.21	\$0.00	
15. Gypsum Board Removal	Reported Asbestos-Containing Material	2000	\$7.04	\$14,080.00	
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0	\$3.52	\$0.00	
17. Laboratory Table/Counter Top Removal	Not Present	0	\$117.27	\$0.00	
18. Cement Board Removal	Not Present	0	\$5.86	\$0.00	
19. Electric Cord Insulation Removal	Not Present	0	\$1.17	\$0.00	
20. Light (Reflector) Fixture Removal	Not Present	0	\$58.64	\$0.00	
21. Sheet Flooring with Friable Backer Removal	Not Present	0	\$4.69	\$0.00	
22. Fire Door Removal	Assumed Asbestos-Containing Material	4	\$117.27	\$469.08	
23. Door and Window Panel Removal	Assumed Asbestos-Containing Material	40	\$117.27	\$4,690.80	
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0	\$3.52	\$0.00	
25. Soil Removal	Not Present	0	\$175.91	\$0.00	
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00	
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00	
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0	\$351.81	\$0.00	
29. Resilient Flooring Removal, Including Mastic	Reported Asbestos-Containing Material	6000	\$3.52	\$21,120.00	
30. Carpet Mastic Removal	Not Present	0	\$2.35	\$0.00	
31. Carpet Removal (over RFC)	Not Present	0	\$1.17	\$0.00	
32. Acoustical Tile Mastic Removal	Not Present	0	\$3.52	\$0.00	
33. Sink Undercoating Removal	Assumed Asbestos-Containing Material	1	\$117.27	\$117.27	
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0	\$2.35	\$0.00	
35. Chalkboards/Mastic		0	\$351.81	\$0.00	
36. Duct Mastic	Reported Asbestos-Containing Material	lun	np sum	\$2,000.00	
37. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Renovation			\$42,477.15	
38. (Sum of Lines 1-36)	Total Asb. Hazard Abatement Cost for Demolition	n Work		\$42,477.15	

B. Removal Of Underground Storage Tanks				None Reported	
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	torage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling/Incineration			Not Applicable
Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1. 13770	13770	\$0.12	\$1,652.40

E. Other Environmental Hazards/Remarks				
Г	Description			
1	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00	
2	. (Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00	

E. Environmental Hazards Assessment Cost Estimate Summaries				
 A37, B1, C3, D1, and E1 	Total Cost for Env. Hazards Work - Renovation	\$44,129.55		
2. A38, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$44,129.55		

 $^{^{\}star} \ \text{INSPECTION ASSUMPTIONS for Reported/Assumed Asbestos-Free Materials (Rep/Asm AFM):}$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Performing Arts Center

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High BuildingAdd: Performing Arts Center

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)		AFM=Asbe	stos Free Material
ACM Found	Status	Quantity Unit Cost	Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0 \$11.73	\$0.00
Breeching Insulation Removal	Not Present	0 \$11.73	\$0.00
Tank Insulation Removal	Not Present	0 \$9.38	\$0.00
Duct Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$9.38	\$0.00
Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$16.42	\$0.00
Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$29.32	\$0.00
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0 \$18.76	\$0.00
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0 \$41.04	\$0.00
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0 \$22.28	\$0.00
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0 \$2,345.40	\$0.00
11. Flexible Duct Connection Removal	Reported / Assumed Asbestos-Free Material	0 \$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0 \$8.21	\$0.00
13. Fireproofing Removal	Reported / Assumed Asbestos-Free Material	0 \$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0 \$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0 \$7.04	\$0.00
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0 \$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0 \$117.27	\$0.00
18. Cement Board Removal	Not Present	0 \$5.86	\$0.00
19. Electric Cord Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0 \$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0 \$4.69	\$0.00
22. Fire Door Removal	Reported / Assumed Asbestos-Free Material	0 \$117.27	\$0.00
23. Door and Window Panel Removal	Reported / Assumed Asbestos-Free Material	0 \$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0 \$3.52	\$0.00
25. Soil Removal	Not Present	0 \$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Reported / Assumed Asbestos-Free Material	0 \$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Reported / Assumed Asbestos-Free Material	0 \$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported / Assumed Asbestos-Free Material	0 \$3.52	\$0.00
30. Carpet Mastic Removal	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0 \$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0 \$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0 \$117.27	
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
35. Chalkboards/Mastic		0 \$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renova	tion Work	\$0.00
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demolit	tion Work	\$0.00

B. Removal Of Underground Storag	Removal Of Underground Storage Tanks				
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)			Total Cost For Removal Of Underground S	Storage Tanks	\$0.00

C. Lead-Based Paint (LBP) - Renovation Only	Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Flu	uorescent Lamps & Ballasts Recyclir		☐ Not Applicable	
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1.	16344	16344	\$0.12	\$1,961.28

E	E. Other Environmental Hazards/Remarks				
Г	Description				
1	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

F	. Environmental Hazards Assessment Cost Estin	nate Summaries	
1	. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$1,961.28
2	. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$1,961.28

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM});$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Performing Arts Center Seating

Environmental Hazards(Enhanced) - Brunswick City (43661) - Brunswick High (3970) - Performing Arts Center Seating

Owner: Brunswick City Bldg. IRN: 3970

Facility: Brunswick High BuildingAdd: Performing Arts Center Seating

 Date On-Site:
 2019-04-08
 Consultant Name:
 Jordan Mederer

A. Asbestos Containing Material (ACM)		AFM=Ashe	stos Free Material
ACM Found	Status		Estimated Cost
Boiler/Furnace Insulation Removal	Not Present	0 \$11.73	
Breeching Insulation Removal	Not Present	0 \$11.73	
Tank Insulation Removal	Not Present	0 \$9.38	
Duct Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$9.38	\$0.00
5. Pipe Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$16.42	
6. Pipe Fitting Insulation Removal	Reported / Assumed Asbestos-Free Material	0 \$29.32	
7. Pipe Insulation Removal (Crawlspace/Tunnel)	Not Present	0 \$18.76	
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	Not Present	0 \$41.04	
9. Pipe Insulation Removal (Hidden in Walls/Ceilings)	Reported / Assumed Asbestos-Free Material	0 \$22.28	
10. Dismantling of Boiler/Furnace/Incinerator	Not Present	0 \$2.345.40	
11. Flexible Duct Connection Removal	Not Present	0 \$117.27	\$0.00
12. Acoustical Plaster Removal	Not Present	0 \$8.21	\$0.00
13. Fireproofing Removal	Reported / Assumed Asbestos-Free Material	0 \$29.32	\$0.00
14. Hard Plaster Removal	Not Present	0 \$8.21	\$0.00
15. Gypsum Board Removal	Reported / Assumed Asbestos-Free Material	0 \$7.04	
16. Acoustical Panel/Tile Ceiling Removal	Reported / Assumed Asbestos-Free Material	0 \$3.52	\$0.00
17. Laboratory Table/Counter Top Removal	Not Present	0 \$117.27	\$0.00
18. Cement Board Removal	Not Present	0 \$5.86	\$0.00
19. Electric Cord Insulation Removal	Not Present	0 \$1.17	\$0.00
20. Light (Reflector) Fixture Removal	Not Present	0 \$58.64	\$0.00
21. Sheet Flooring with Friable Backer Removal	Not Present	0 \$4.69	\$0.00
22. Fire Door Removal	Reported / Assumed Asbestos-Free Material	0 \$117.27	\$0.00
23. Door and Window Panel Removal	Not Present	0 \$117.27	\$0.00
24. Decontamination of Crawlspace/Chase/Tunnel	Not Present	0 \$3.52	\$0.00
25. Soil Removal	Not Present	0 \$175.91	\$0.00
26. Non-ACM Ceiling/Wall Removal (for access)	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
27. Window Component (Compound, Tape, or Caulk) - Reno & Demo	Not Present	0 \$351.81	\$0.00
28. Window Component (Compound, Tape, or Caulk) - Reno Only	Not Present	0 \$351.81	\$0.00
29. Resilient Flooring Removal, Including Mastic	Reported / Assumed Asbestos-Free Material	0 \$3.52	\$0.00
30. Carpet Mastic Removal	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
31. Carpet Removal (over RFC)	Not Present	0 \$1.17	\$0.00
32. Acoustical Tile Mastic Removal	Not Present	0 \$3.52	\$0.00
33. Sink Undercoating Removal	Not Present	0 \$117.27	\$0.00
34. Roofing Removal	Reported / Assumed Asbestos-Free Material	0 \$2.35	\$0.00
35. Chalkboards/Mastic		0 \$351.81	\$0.00
36. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Renova		\$0.00
37. (Sum of Lines 1-35)	Total Asb. Hazard Abatement Cost for Demoli	tion Work	\$0.00

B. Removal Of Underground Storage Tanks					
Tank No.	Location	Age	Product Stored	Size	Est.Rem.Cost
1. (Sum of Lines 1-0)		Total Cost For Removal Of Underground Storage Tanks		\$0.00	

C. Lead-Based Paint (LBP) - Renovation Only	Addition Constructed after 1980
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$0.00
Special Engineering Fees for LBP Mock-Ups	\$0.00
3. (Sum of Lines 1-2)	Total Cost for Lead-Based Paint Mock-Ups \$0.00

D. Fluorescent Lamps & Ballasts Recycling/Incineration				
	Area Of Building Addition	Square Feet w/Fluorescent Lamps & Ballasts	Unit Cost	Total Cost
1.	8055	8055	\$0.12	\$966.60

E	E. Other Environmental Hazards/Remarks				
П	Description		Cost Estimate		
1	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Renovation	\$0.00		
2	(Sum of Lines 1-0)	Total Cost for Other Environmental Hazards - Demolition	\$0.00		

F	F. Environmental Hazards Assessment Cost Estimate Summaries				
1.	. A36, B1, C3, D1, and E1	Total Cost for Env. Hazards Work - Renovation	\$966.60		
2	. A37, B1, D1, and E2	Total Cost for Env. Hazards Work - Demolition	\$966.60		

 $^{{}^{\}star}\, {\sf INSPECTION}\, {\sf ASSUMPTIONS}\, {\sf for}\, {\sf Reported/Assumed}\, {\sf Asbestos\text{-}Free}\, {\sf Materials}\, ({\sf Rep/Asm}\, {\sf AFM});$

- a. Unless reported otherwise by the District, materials installed after 1980 are assumed to be asbestos-free.
- Unless reported otherwise by the District, small quantities (less than 1,000 square feet) of the following materials are assumed to be asbestos free: hard plaster, acoustical plaster and gypsum board systems; acoustical panels and tiles; fireproofing; 12"x12" floor tile and mastic.
- c. Unless reported otherwise by the District, all roofing materials are assumed to be asbestos-free.