

Building Information - Brunswick City (43661) - Brunswick High

Program Type	Classroom Facilities Assistance Program (CFAP) - Regular
Setting	Suburban
Assessment Name	Copy 3 of Brunswick_High_School_02_08_17
Assessment Date (on-site; non-EEA)	2016-07-13
Kitchen Type	Full Kitchen
Cost Set:	2022
Building Name	Brunswick High
Building IRN	3970
Building Address	3581 Center Rd
Building City	Brunswick
Building Zipcode	44212
Building Phone	330-273-0230
Acreage	86.26
Current Grades:	9-12
Teaching Stations	128
Number of Floors	1
Student Capacity	1888
Current Enrollment	2226
Enrollment Date	2016-06-20
Enrollment Date is the date in which the current enrollment was taken.	
Number of Classrooms	120
Historical Register	NO
Building's Principal	Mike Draves
Building Type	High

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Building Pictures - Brunswick City(43661) - Brunswick High(3970)

North elevation photo:



East elevation photo:



South elevation photo:



West elevation photo:



GENERAL DESCRIPTION

331,547 Total Existing Square Footage
1967,1967,1967,1970,1970,1975,1975,1975,1976,1981,1981,1981,1981,1981,2002,2002 Building Dates
9-12 Grades
2,226 Current Enrollment
128 Teaching Stations
86.26 Site Acreage

Brunswick High School, which is not on the National Register of Historic Buildings, is a one-story education facility totaling 339,925 sf. The complex includes several mezzanine levels at various building additions. The Original East Building of 98,963 sf was constructed in 1967. The East Wing Addition of 37,509 sf was added to the structure in 1970. The Original West Building of 71,272 sf was constructed on the campus as a separate stand-alone structure in 1975. The East Weight Room Addition of 5,718 sf was constructed in 1976. The Center Building Addition totaling 64,731 sf was constructed in 1981 and united the Original East and West Buildings into one structure. The West Wing Addition of 21,033 sf was also added to the complex in 1981 and the Performing Arts Center Addition totaling 32,772 sf was constructed in 2002. The facility contains one (1) Gymnasium of 9,206 sf, an Upper Gymnasium mezzanine level of 4,310 sf, one (1) Auxiliary Gymnasium of 7,588 sf, two (2) Student Dining Areas of 5,317 sf and 3,858 sf, two (2) Kitchens of 2,833 sf and 1,461 sf, one (1) Media Center of 10,813 sf, two (2) Auditoriums with 7,038 sf and 1,707 sf of fixed seating area, and District Board Offices totaling 10,156 sf. Brunswick High School currently provides space for Grades 9 thru 12. The complex provides partial accessibility, but does not fully conform to the provisions of the Americans with Disabilities Act (ADA) or ANSI guidelines. Typical classrooms vary in size throughout the complex, but the majority of classroom spaces are undersized and do not conform to the current standards established by the State of Ohio. The existing facility features conventional classroom design and does not utilize modular buildings. A portion of the Classrooms and Corridors of the 1975 and 1981 Additions are constructed with demountable partitions. The School is located on an 86.26-acre campus site shared with Towslee Elementary and District maintenance facilities in a suburban commercial setting. School buses load/unload along a separated drive that shares a common point of ingress/egress with vehicular traffic and public access to adjoining City facilities. The existing structure has a brick, split face concrete masonry unit and metal siding exterior and is constructed with load bearing walls and steel framing with joist deck framing, pre-fabricated concrete deck, and slab-on-grade construction. The roof systems for the overall complex are a combination of a coal tar built-up system installed in 1967, a GRM membrane system installed in 1981, metal batten seam roofs, PVC systems installed in 2002, 2008 and 2009, and a 2-ply modified bitumen system installed in 2015 and 2016.

The ventilation system at the majority of the complex, excluding the 2002 PAC Addition, is inadequate to meet the needs of the users. The majority of the complex is equipped with an air conditioning system. The electrical service for the facility was updated in 2002. The facility is outfitted with a limited security system and a compliant automatic fire alarm system. The 2002 PAC Addition is equipped with an automatic fire suppression system, but the remaining areas of the complex are not equipped with a fire suppression system. The building, excluding the 1981 and 2002 PAC additions, is reported to contain asbestos and other hazardous materials.





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Building Construction Information - Brunswick City (43661) - Brunswick High (3970)

Name	Year	Handicapped Access	Floors	Square Feet	Non OSDM Addition	Built Under ELPP
Original East Building	1967	no	1	93,386	no	no
Original East Building Gym. Mezzanine	1967	no	1	4,310	yes	no
Original East Building I.S. Mezzanine	1967	no	1	1,267	no	no
East Wing Addition	1970	no	1	36,646	no	no
East Wing Addition I.S. Mezzanine	1970	no	1	863	no	no
Original West Building	1975	no	1	68,505	no	no
Original West Building Auditorium	1975	no	1	2,399	yes	no
Original West Building Greenhouse	1975	no	1	363	no	no
East Weight Room Addition	1976	no	1	5,718	yes	no
Center Building Addition	1981	no	1	64,731	no	no
East Classroom Addition	1981	no	1	7,122	no	no
East Classroom Addition Mezzanine	1981	no	1	805	no	no
West Wing Addition	1981	yes	1	7,263	no	no
West Wing Addition Board Offices	1981	no	1	13,770	yes	no
Performing Arts Center	2002	no	1	16,344	yes	no
Performing Arts Center Seating	2002	yes	1	8,055	yes	no

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Building Component Information - Brunswick City (43661) - Brunswick High (3970)

Addition	Auditorium Fixed Seating	Corridors	Agricultural Education Lab	Primary Gymnasium	Media Center	Vocational Space	Student Dining	Kitchen	Natatorium	Indoor Tracks	Adult Education	Board Offices	Outside Agencies	Auxiliary Gymnasium
Original East Building (1967)		17688		9206			5271	2833						
Original East Building Gym. Mezzanine (1967)		159												
Original East Building I.S. Mezzanine (1967)														
East Wing Addition (1970)		7338					46							
East Wing Addition I.S. Mezzanine (1970)														
Original West Building (1975)		11214					3858	1461						7588
Original West Building Auditorium (1975)	1707	34												
Original West Building Greenhouse (1975)														
East Weight Room Addition (1976)														
Center Building Addition (1981)		11889			10813									
East Classroom Addition (1981)		488												
East Classroom Addition Mezzanine (1981)														
West Wing Addition (1981)		2374												
West Wing Addition Board Offices (1981)		2707										10156		
Performing Arts Center (2002)		5125												
Performing Arts Center Seating (2002)	8055													
Total	9,762	59,016	0	9,206	10,813	0	9,175	4,294	0	0	0	10,156	0	7,588
Master Planning Considerations														

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Existing CT Programs for Assessment

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Program Type	Program Name	Related Space	Square Feet
No Records Found			

Legend:

Not in current design manual

In current design manual but missing from assessment

Building Summary - Brunswick High (3970)

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
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Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
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Original East Building Gym. Mezzanine (1967) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary					
Proposed Grades	N/A	Teaching Stations:	128						
Current Enrollment	2226	Classrooms:	120						
Projected Enrollment	N/A								
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating Category
Original East Building	1967	no	1	93,386	Cover Sheet	—	—	—	—
Original East Building Gym. Mezzanine	1967	no	1	4,310	1.0 The School Site	100	88	88%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
East Wing Addition	1970	no	1	36,646	3.0 Plant Maintainability	100	80	80%	Satisfactory
East Wing Addition I.S. Mezzanine	1970	no	1	863	4.0 Building Safety and Security	200	165	83%	Satisfactory
Original West Building	1975	no	1	68,505	5.0 Educational Adequacy	200	153	77%	Satisfactory
Original West Building Auditorium	1975	no	1	2,399	6.0 Environment for Education	200	161	81%	Satisfactory
Original West Building Greenhouse	1975	no	1	363	LEED Observations	—	—	—	—
East Weight Room Addition	1976	no	1	5,718	Commentary	—	—	—	—
Center Building Addition	1981	no	1	64,731	Total	1000	801	80%	Satisfactory
East Classroom Addition	1981	no	1	7,122	Enhanced Environmental Hazards Assessment Cost Estimates				
East Classroom Addition Mezzanine	1981	no	1	805	C=Under Contract				
West Wing Addition	1981	yes	1	7,263	Renovation Cost Factor 110.06%				
West Wing Addition Board Offices	1981	no	1	13,770	Cost to Renovate (Cost Factor applied) \$1,187,824.52				
Performing Arts Center	2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>				
Performing Arts Center Seating	2002	yes	1	8,055					
Total				331,547					
*HA = Handicapped Access									
*Rating =1 Satisfactory									
=2 Needs Repair									
=3 Needs Replacement									
*Const P/S = Present/Scheduled Construction									
FACILITY ASSESSMENT Cost Set: 2022				Rating	Dollar Assessment	C			
A.	Heating System	3	\$252,695.30	-					
B.	Roofing	3	\$21,489.00	-					
C.	Ventilation / Air Conditioning	2	\$0.00	-					
D.	Electrical Systems	3	\$148,350.20	-					
E.	Plumbing and Fixtures	3	\$35,342.00	-					
F.	Windows	3	\$0.00	-					
G.	Structure: Foundation	2	\$0.00	-					
H.	Structure: Walls and Chimneys	2	\$0.00	-					
I.	Structure: Floors and Roofs	1	\$0.00	-					
J.	General Finishes	3	\$135,721.90	-					
K.	Interior Lighting	3	\$32,842.20	-					
L.	Security Systems	3	\$19,438.10	-					
M.	Emergency/Egress Lighting	3	\$5,042.70	-					
N.	Fire Alarm	3	\$15,171.20	-					
O.	Handicapped Access	3	\$27,728.86	-					
P.	Site Condition	2	\$31,059.13	-					
Q.	Sewage System	1	\$0.00	-					
R.	Water Supply	1	\$0.00	-					
S.	Exterior Doors	3	\$47,494.35	-					
T.	Hazardous Material	3	\$2,745.55	-					
U.	Life Safety	3	\$18,964.00	-					
V.	Loose Furnishings	3	\$32,842.20	-					
W.	Technology	3	\$40,427.80	-					
X.	Construction Contingency / Non-Construction Cost	-	\$211,897.30	-					
Total				\$1,079,251.79					

Original East Building I.S. Mezzanine (1967) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary						
Proposed Grades	N/A	Teaching Stations:	128							
Current Enrollment	2226	Classrooms:	120							
Projected Enrollment	N/A									
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
Original East Building	1967	no	1	93,386	1.0 The School Site	100	88	88%	Satisfactory	
Original East Building Gym. Mezzanine	1967	no	1	4,310	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory	
Original East Building I.S. Mezzanine	1967	no	1	1,267	3.0 Plant Maintainability	100	80	80%	Satisfactory	
East Wing Addition	1970	no	1	36,646	4.0 Building Safety and Security	200	165	83%	Satisfactory	
East Wing Addition I.S. Mezzanine	1970	no	1	863	5.0 Educational Adequacy	200	153	77%	Satisfactory	
Original West Building	1975	no	1	68,505	6.0 Environment for Education	200	161	81%	Satisfactory	
Original West Building Auditorium	1975	no	1	2,399	LEED Observations	—	—	—	—	
Original West Building Greenhouse	1975	no	1	363	Commentary	—	—	—	—	
East Weight Room Addition	1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
Center Building Addition	1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition	1981	no	1	7,122	C=Under Contract					
East Classroom Addition Mezzanine	1981	no	1	805	Renovation Cost Factor 110.06%					
West Wing Addition	1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$495,461.00					
West Wing Addition Board Offices	1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
Performing Arts Center Seating	2002	no	1	16,344						
Performing Arts Center Seating	2002	yes	1	8,055						
Total				331,547						
	*HA	=	Handicapped Access							
	*Rating	=	1 Satisfactory							
		=	2 Needs Repair							
		=	3 Needs Replacement							
	*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT Cost Set: 2022				Rating	Dollar Assessment					
A.	Heating System			3	\$74,284.21					
B.	Roofing			3	\$87,984.00					
C.	Ventilation / Air Conditioning			2	\$0.00					
D.	Electrical Systems			3	\$43,610.14					
E.	Plumbing and Fixtures			3	\$10,389.40					
F.	Windows			3	\$0.00					
G.	Structure: Foundation			2	\$0.00					
H.	Structure: Walls and Chimneys			2	\$0.00					
I.	Structure: Floors and Roofs			1	\$0.00					
J.	General Finishes			3	\$39,897.83					
K.	Interior Lighting			3	\$9,654.54					
L.	Security Systems			3	\$5,714.17					
M.	Emergency/Egress Lighting			3	\$1,482.39					
N.	Fire Alarm			3	\$4,459.84					
O.	Handicapped Access			3	\$17,881.91					
P.	Site Condition			2	\$27,436.45					
Q.	Sewage System			1	\$0.00					
R.	Water Supply			1	\$0.00					
S.	Exterior Doors			3	\$0.00					
T.	Hazardous Material			3	\$152.04					
U.	Life Safety			3	\$17,301.80					
V.	Loose Furnishings			3	\$9,654.54					
W.	Technology			3	\$11,884.46					
X.	Construction Contingency / Non-Construction Cost			-	\$88,385.83					
Total					\$450,173.55					

East Wing Addition (1970) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary									
Proposed Grades	N/A	Teaching Stations:	128										
Current Enrollment	2226	Classrooms:	120										
Projected Enrollment	N/A												
Addition				Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
<u>Original East Building</u>				1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory	
<u>Original East Building Gym. Mezzanine</u>				1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory	
<u>Original East Building I.S. Mezzanine</u>				1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory	
East Wing Addition				1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory	
<u>East Wing Addition I.S. Mezzanine</u>				1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory	
<u>Original West Building</u>				1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory	
<u>Original West Building Auditorium</u>				1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—	
<u>Original West Building Greenhouse</u>				1975	no	1	363	<u>Commentary</u>	—	—	—	—	
<u>East Weight Room Addition</u>				1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
<u>Center Building Addition</u>				1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
<u>East Classroom Addition</u>				1981	no	1	7,122	C=Under Contract					
<u>East Classroom Addition Mezzanine</u>				1981	no	1	805	Renovation Cost Factor					
<u>West Wing Addition</u>				1981	yes	1	7,263	Cost to Renovate (Cost Factor applied)					
<u>West Wing Addition Board Offices</u>				1981	no	1	13,770	\$11,124,414.61					
<u>Performing Arts Center</u>				2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
<u>Performing Arts Center Seating</u>				2002	yes	1	8,055						
Total							331,547						
				*HA	=	Handicapped Access							
				*Rating	=1	Satisfactory							
					=2	Needs Repair							
					=3	Needs Replacement							
				*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT													
Cost Set: 2022													
								Rating	Dollar Assessment				C
A.	<u>Heating System</u>							3	\$2,148,554.98				-
B.	<u>Roofing</u>							3	\$877,022.90				-
C.	<u>Ventilation / Air Conditioning</u>							2	\$17,590.50				-
D.	<u>Electrical Systems</u>							3	\$1,261,355.32				-
E.	<u>Plumbing and Fixtures</u>							3	\$423,396.16				-
F.	<u>Windows</u>							3	\$171,489.60				-
G.	Structure: Foundation							2	\$0.00				-
H.	<u>Structure: Walls and Chimneys</u>							2	\$86,599.84				-
I.	<u>Structure: Floors and Roofs</u>							1	\$0.00				-
J.	<u>General Finishes</u>							3	\$1,238,462.54				-
K.	<u>Interior Lighting</u>							3	\$279,242.52				-
L.	<u>Security Systems</u>							3	\$165,273.46				-
M.	<u>Emergency/Egress Lighting</u>							3	\$42,875.82				-
N.	<u>Fire Alarm</u>							3	\$128,993.92				-
O.	<u>Handicapped Access</u>							3	\$80,315.09				-
P.	<u>Site Condition</u>							2	\$296,097.57				-
Q.	<u>Sewage System</u>							1	\$0.00				-
R.	<u>Water Supply</u>							1	\$0.00				-
S.	<u>Exterior Doors</u>							3	\$35,181.00				-
T.	<u>Hazardous Material</u>							3	\$77,618.96				-
U.	<u>Life Safety</u>							3	\$170,042.40				-
V.	<u>Loose Furnishings</u>							3	\$279,242.52				-
W.	<u>Technology</u>							3	\$343,739.48				-
X.	<u>Construction Contingency / Non-Construction Cost</u>							-	\$1,984,496.38				-
Total								\$10,107,590.96					

East Wing Addition I.S. Mezzanine (1970) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreeage:	86.26	Suitability Appraisal Summary					
Proposed Grades	N/A	Teaching Stations:	128						
Current Enrollment	2226	Classrooms:	120						
Projected Enrollment	N/A								
Addition				Section	Points Possible	Points Earned	Percentage	Rating	Category
	Date	HA	Number of Floors	Current Square Feet	Cover Sheet	—	—	—	—
Original East Building	1967	no	1	93,386	1.0 The School Site	100	88	88%	Satisfactory
Original East Building Gym. Mezzanine	1967	no	1	4,310	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	3.0 Plant Maintainability	100	80	80%	Satisfactory
East Wing Addition	1970	no	1	36,646	4.0 Building Safety and Security	200	165	83%	Satisfactory
East Wing Addition I.S. Mezzanine	1970	no	1	863	5.0 Educational Adequacy	200	153	77%	Satisfactory
Original West Building	1975	no	1	68,505	6.0 Environment for Education	200	161	81%	Satisfactory
Original West Building Auditorium	1975	no	1	2,399	LEED Observations	—	—	—	—
Original West Building Greenhouse	1975	no	1	363	Commentary	—	—	—	—
East Weight Room Addition	1976	no	1	5,718	Total	1000	801	80%	Satisfactory
Center Building Addition	1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates				
East Classroom Addition	1981	no	1	7,122	C=Under Contract				
East Classroom Addition Mezzanine	1981	no	1	805	Renovation Cost Factor 110.06%				
West Wing Addition	1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$536,972.31				
West Wing Addition Board Offices	1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>				
Performing Arts Center Seating	2002	no	1	16,344					
Performing Arts Center Seating	2002	yes	1	8,055					
Total				331,547					
				*HA = Handicapped Access					
				*Rating =1 Satisfactory					
				=2 Needs Repair					
				=3 Needs Replacement					
				*Const P/S = Present/Scheduled Construction					
FACILITY ASSESSMENT				Rating	Dollar Assessment				
Cost Set: 2022									
A.	Heating System		3	\$50,597.69	-				
B.	Roofing		3	\$0.00	-				
C.	Ventilation / Air Conditioning		2	\$0.00	-				
D.	Electrical Systems		3	\$29,704.46	-				
E.	Plumbing and Fixtures		3	\$7,076.60	-				
F.	Windows		3	\$0.00	-				
G.	Structure: Foundation		2	\$47,756.85	-				
H.	Structure: Walls and Chimneys		2	\$0.00	-				
I.	Structure: Floors and Roofs		1	\$0.00	-				
J.	General Finishes		3	\$167,975.87	-				
K.	Interior Lighting		3	\$6,576.06	-				
L.	Security Systems		3	\$3,892.13	-				
M.	Emergency/Egress Lighting		3	\$1,009.71	-				
N.	Fire Alarm		3	\$3,037.76	-				
O.	Handicapped Access		3	\$20,838.01	-				
P.	Site Condition		2	\$29,199.05	-				
Q.	Sewage System		1	\$0.00	-				
R.	Water Supply		1	\$0.00	-				
S.	Exterior Doors		3	\$0.00	-				
T.	Hazardous Material		3	\$103.56	-				
U.	Life Safety		3	\$9,660.70	-				
V.	Loose Furnishings		3	\$6,576.06	-				
W.	Technology		3	\$8,094.94	-				
X.	Construction Contingency / Non-Construction Cost		-	\$95,791.07	-				
Total				\$487,890.52					

Original West Building (1975) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary						
Proposed Grades	N/A	Teaching Stations:	128							
Current Enrollment	2226	Classrooms:	120							
Projected Enrollment	N/A									
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
Original East Building	1967	no	1	93,386	Cover Sheet	—	—	—	—	—
Original East Building Gym. Mezzanine	1967	no	1	4,310	1.0 The School Site	100	88	88%	Satisfactory	
Original East Building I.S. Mezzanine	1967	no	1	1,267	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory	
East Wing Addition	1970	no	1	36,646	3.0 Plant Maintainability	100	80	80%	Satisfactory	
East Wing Addition I.S. Mezzanine	1970	no	1	863	4.0 Building Safety and Security	200	165	83%	Satisfactory	
Original West Building	1975	no	1	68,505	5.0 Educational Adequacy	200	153	77%	Satisfactory	
Original West Building Auditorium	1975	no	1	2,399	6.0 Environment for Education	200	161	81%	Satisfactory	
Original West Building Greenhouse	1975	no	1	363	LEED Observations	—	—	—	—	
East Weight Room Addition	1976	no	1	5,718	Commentary	—	—	—	—	
Center Building Addition	1981	no	1	64,731	Total	1000	801	80%	Satisfactory	
East Classroom Addition	1981	no	1	7,122	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition Mezzanine	1981	no	1	805	C=Under Contract					
West Wing Addition	1981	yes	1	7,263	Renovation Cost Factor 110.06%					
West Wing Addition Board Offices	1981	no	1	13,770	Cost to Renovate (Cost Factor applied) \$19,870,105.20					
Performing Arts Center	2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
Performing Arts Center Seating	2002	yes	1	8,055						
Total				331,547						
	*HA	=	Handicapped Access							
	*Rating	=	1 Satisfactory							
		=	2 Needs Repair							
		=	3 Needs Replacement							
	*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT Cost Set: 2022				Rating	Dollar Assessment					
A.	Heating System		3	\$4,016,448.15	-					
B.	Roofing		3	\$272,194.60	-					
C.	Ventilation / Air Conditioning		2	\$0.00	-					
D.	Electrical Systems		3	\$2,357,942.10	-					
E.	Plumbing and Fixtures		3	\$721,814.55	-					
F.	Windows		3	\$108,824.50	-					
G.	Structure: Foundation		2	\$22,800.00	-					
H.	Structure: Walls and Chimneys		2	\$77,470.44	-					
I.	Structure: Floors and Roofs		1	\$5,826.00	-					
J.	General Finishes		3	\$2,913,743.49	-					
K.	Interior Lighting		3	\$522,008.10	-					
L.	Security Systems		3	\$558,957.55	-					
M.	Emergency/Egress Lighting		3	\$80,150.85	-					
N.	Fire Alarm		3	\$241,137.60	-					
O.	Handicapped Access		3	\$351,863.47	-					
P.	Site Condition		2	\$536,928.13	-					
Q.	Sewage System		1	\$0.00	-					
R.	Water Supply		1	\$0.00	-					
S.	Exterior Doors		3	\$48,080.70	-					
T.	Hazardous Material		3	\$207,037.60	-					
U.	Life Safety		3	\$301,422.00	-					
V.	Loose Furnishings		3	\$522,008.10	-					
W.	Technology		3	\$642,576.90	-					
X.	Construction Contingency / Non-Construction Cost		-	\$3,544,649.60	-					
Total				\$18,053,884.43						

Original West Building Auditorum (1975) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Original West Building Greenhouse (1975) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreeage:	86.26	Suitability Appraisal Summary																				
Proposed Grades	N/A	Teaching Stations:	128																					
Current Enrollment	2226	Classrooms:	120																					
Projected Enrollment	N/A																							
Addition				Section	Points Possible	Points Earned	Percentage	Rating	Category															
Date	HA	Number of Floors	Current Square Feet	<u>Cover Sheet</u>	—	—	—	—	—															
<u>Original East Building</u>	1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory															
<u>Original East Building Gym. Mezzanine</u>	1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory															
<u>Original East Building I.S. Mezzanine</u>	1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory															
<u>East Wing Addition</u>	1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory															
<u>East Wing Addition I.S. Mezzanine</u>	1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory															
<u>Original West Building</u>	1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory															
<u>Original West Building Auditorium</u>	1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—															
Original West Building Greenhouse	1975	no	1	363	<u>Commentary</u>	—	—	—	—															
<u>East Weight Room Addition</u>	1976	no	1	5,718	Total	1000	801	80%	Satisfactory															
<u>Center Building Addition</u>	1981	no	1	64,731	<u>Enhanced Environmental Hazards Assessment Cost Estimates</u>																			
<u>East Classroom Addition</u>	1981	no	1	7,122	<u>C=Under Contract</u>																			
<u>East Classroom Addition Mezzanine</u>	1981	no	1	805	Renovation Cost Factor 110.06%																			
<u>West Wing Addition</u>	1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$134,544.50																			
<u>West Wing Addition Board Offices</u>	1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>																			
<u>Performing Arts Center Seating</u>	2002	no	1	16,344																				
<u>Performing Arts Center Seating</u>	2002	yes	1	8,055																				
Total				331,547																				
<table border="1"> <tr> <td>*HA</td> <td>=</td> <td>Handicapped Access</td> </tr> <tr> <td>*Rating</td> <td>=1</td> <td>Satisfactory</td> </tr> <tr> <td></td> <td>=2</td> <td>Needs Repair</td> </tr> <tr> <td></td> <td>=3</td> <td>Needs Replacement</td> </tr> <tr> <td>*Const P/S</td> <td>=</td> <td>Present/Scheduled Construction</td> </tr> </table>				*HA	=	Handicapped Access	*Rating	=1	Satisfactory		=2	Needs Repair		=3	Needs Replacement	*Const P/S	=	Present/Scheduled Construction						
*HA	=	Handicapped Access																						
*Rating	=1	Satisfactory																						
	=2	Needs Repair																						
	=3	Needs Replacement																						
*Const P/S	=	Present/Scheduled Construction																						
FACILITY ASSESSMENT				Rating	Dollar Assessment																			
Cost Set: 2022																								
A.	<u>Heating System</u>	3	\$21,282.69	-																				
B.	<u>Roofing</u>	3	\$0.00	-																				
C.	<u>Ventilation / Air Conditioning</u>	2	\$0.00	-																				
D.	<u>Electrical Systems</u>	3	\$12,494.46	-																				
E.	<u>Plumbing and Fixtures</u>	3	\$2,976.60	-																				
F.	<u>Windows</u>	3	\$36,183.84	-																				
G.	<u>Structure: Foundation</u>	2	\$0.00	-																				
H.	<u>Structure: Walls and Chimneys</u>	2	\$0.00	-																				
I.	<u>Structure: Floors and Roofs</u>	1	\$0.00	-																				
J.	<u>General Finishes</u>	3	\$0.00	-																				
K.	<u>Interior Lighting</u>	3	\$2,766.06	-																				
L.	<u>Security Systems</u>	3	\$1,637.13	-																				
M.	<u>Emergency/Egress Lighting</u>	3	\$424.71	-																				
N.	<u>Fire Alarm</u>	3	\$1,277.76	-																				
O.	<u>Handicapped Access</u>	3	\$3,132.51	-																				
P.	<u>Site Condition</u>	2	\$8,257.44	-																				
Q.	<u>Sewage System</u>	1	\$0.00	-																				
R.	<u>Water Supply</u>	1	\$0.00	-																				
S.	<u>Exterior Doors</u>	3	\$0.00	-																				
T.	<u>Hazardous Material</u>	3	\$43.56	-																				
U.	<u>Life Safety</u>	3	\$1,597.20	-																				
V.	<u>Loose Furnishings</u>	3	\$2,766.06	-																				
W.	<u>Technology</u>	3	\$3,404.94	-																				
X.	<u>Construction Contingency / Non-Construction Cost</u>	-	\$24,001.54	-																				
Total					\$122,246.50																			

East Weight Room Addition (1976) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary					
Proposed Grades	N/A	Teaching Stations:	128						
Current Enrollment	2226	Classrooms:	120						
Projected Enrollment	N/A								
Addition				Section	Points Possible	Points Earned	Percentage	Rating	Category
Date	HA	Number of Floors	Current Square Feet	<u>Cover Sheet</u>	—	—	—	—	—
Original East Building	1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory
Original East Building Gym Mezzanine	1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory
Original East Building I.S. Mezzanine	1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory
East Wing Addition	1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory
East Wing Addition I.S. Mezzanine	1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory
Original West Building	1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory
Original West Building Auditorium	1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—
Original West Building Greenhouse	1975	no	1	363	<u>Commentary</u>	—	—	—	—
East Weight Room Addition	1976	no	1	5,718	Total	1000	801	80%	Satisfactory
Center Building Addition	1981	no	1	64,731	<u>Enhanced Environmental Hazards Assessment Cost Estimates</u>				
East Classroom Addition	1981	no	1	7,122	<u>C=Under Contract</u>				
East Classroom Addition Mezzanine	1981	no	1	805	Renovation Cost Factor				
West Wing Addition	1981	yes	1	7,263	Cost to Renovate (Cost Factor applied)				
West Wing Addition Board Offices	1981	no	1	13,770	110.06%				
Performing Arts Center	2002	no	1	16,344	Cost to Renovate (Cost Factor applied)				
Performing Arts Center Seating	2002	yes	1	8,055	\$1,669,035.43				
Total				331,547	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>				
*HA = Handicapped Access									
*Rating =1 Satisfactory									
=2 Needs Repair									
=3 Needs Replacement									
*Const P/S = Present/Scheduled Construction									
FACILITY ASSESSMENT				Rating	Dollar Assessment	C			
Cost Set: 2022									
A.	<u>Heating System</u>			3	\$335,246.34	-			
B.	<u>Roofing</u>			3	\$149,489.74	-			
C.	<u>Ventilation / Air Conditioning</u>			2	\$0.00	-			
D.	<u>Electrical Systems</u>			3	\$196,813.56	-			
E.	<u>Plumbing and Fixtures</u>			3	\$46,887.60	-			
F.	<u>Windows</u>			3	\$0.00	-			
G.	<u>Structure: Foundation</u>			2	\$0.00	-			
H.	<u>Structure: Walls and Chimneys</u>			2	\$10,316.00	-			
I.	<u>Structure: Floors and Roofs</u>			1	\$0.00	-			
J.	<u>General Finishes</u>			3	\$199,771.82	-			
K.	<u>Interior Lighting</u>			3	\$43,571.16	-			
L.	<u>Security Systems</u>			3	\$25,788.18	-			
M.	<u>Emergency/Egress Lighting</u>			3	\$6,690.06	-			
N.	<u>Fire Alarm</u>			3	\$20,127.36	-			
O.	<u>Handicapped Access</u>			3	\$1,315.14	-			
P.	<u>Site Condition</u>			2	\$48,607.87	-			
Q.	<u>Sewage System</u>			1	\$0.00	-			
R.	<u>Water Supply</u>			1	\$0.00	-			
S.	<u>Exterior Doors</u>			3	\$7,153.47	-			
T.	<u>Hazardous Material</u>			3	\$4,593.23	-			
U.	<u>Life Safety</u>			3	\$25,159.20	-			
V.	<u>Loose Furnishings</u>			3	\$43,571.16	-			
W.	<u>Technology</u>			3	\$53,634.84	-			
X.	<u>Construction Contingency / Non-Construction Cost</u>			-	\$297,741.04	-			
Total					\$1,516,477.77				

Center Building Addition (1981) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary						
Proposed Grades	N/A	Teaching Stations:	128							
Current Enrollment	2226	Classrooms:	120							
Projected Enrollment	N/A									
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
Original East Building	1967	no	1	93,386	Cover Sheet	—	—	—	—	—
Original East Building Gym. Mezzanine	1967	no	1	4,310	1.0 The School Site	100	88	88%	Satisfactory	
Original East Building I.S. Mezzanine	1967	no	1	1,267	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory	
East Wing Addition	1970	no	1	36,646	3.0 Plant Maintainability	100	80	80%	Satisfactory	
East Wing Addition I.S. Mezzanine	1970	no	1	863	4.0 Building Safety and Security	200	165	83%	Satisfactory	
Original West Building	1975	no	1	68,505	5.0 Educational Adequacy	200	153	77%	Satisfactory	
Original West Building Auditorium	1975	no	1	2,399	6.0 Environment for Education	200	161	81%	Satisfactory	
Original West Building Greenhouse	1975	no	1	363	LEED Observations	—	—	—	—	
East Weight Room Addition	1976	no	1	5,718	Commentary	—	—	—	—	
Center Building Addition	1981	no	1	64,731	Total	1000	801	80%	Satisfactory	
East Classroom Addition	1981	no	1	7,122	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition Mezzanine	1981	no	1	805	C=Under Contract					
West Wing Addition	1981	yes	1	7,263	Renovation Cost Factor 110.06%					
West Wing Addition Board Offices	1981	no	1	13,770	Cost to Renovate (Cost Factor applied) \$16,403,550.12					
Performing Arts Center	2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
Performing Arts Center Seating	2002	yes	1	8,055						
Total				331,547						
*HA = Handicapped Access										
*Rating =1 Satisfactory										
=2 Needs Repair										
=3 Needs Replacement										
*Const P/S = Present/Scheduled Construction										
FACILITY ASSESSMENT Cost Set: 2022				Rating	Dollar Assessment					
A.	Heating System	3	\$3,795,178.53	-						
B.	Roofing	3	\$0.00	-						
C.	Ventilation / Air Conditioning	2	\$0.00	-						
D.	Electrical Systems	3	\$2,228,041.02	-						
E.	Plumbing and Fixtures	3	\$78,570.90	-						
F.	Windows	3	\$144,696.20	-						
G.	Structure: Foundation	2	\$120,041.00	-						
H.	Structure: Walls and Chimneys	2	\$115,701.60	-						
I.	Structure: Floors and Roofs	1	\$0.00	-						
J.	General Finishes	3	\$2,166,271.89	-						
K.	Interior Lighting	3	\$493,250.22	-						
L.	Security Systems	3	\$291,936.81	-						
M.	Emergency/Egress Lighting	3	\$75,735.27	-						
N.	Fire Alarm	3	\$227,853.12	-						
O.	Handicapped Access	3	\$250,008.42	-						
P.	Site Condition	2	\$522,032.15	-						
Q.	Sewage System	1	\$0.00	-						
R.	Water Supply	1	\$0.00	-						
S.	Exterior Doors	3	\$48,080.70	-						
T.	Hazardous Material	3	\$35,300.42	-						
U.	Life Safety	3	\$284,816.40	-						
V.	Loose Furnishings	3	\$493,250.22	-						
W.	Technology	3	\$607,176.78	-						
X.	Construction Contingency / Non-Construction Cost	-	\$2,926,247.08	-						
Total					\$14,904,188.73					

East Classroom Addition (1981) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary									
Proposed Grades	N/A	Teaching Stations:	128										
Current Enrollment	2226	Classrooms:	120										
Projected Enrollment	N/A												
Addition				Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
<u>Original East Building</u>				1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory	
<u>Original East Building Gym. Mezzanine</u>				1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory	
<u>Original East Building I.S. Mezzanine</u>				1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory	
<u>East Wing Addition</u>				1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory	
<u>East Wing Addition I.S. Mezzanine</u>				1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory	
<u>Original West Building</u>				1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory	
<u>Original West Building Auditorium</u>				1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—	
<u>Original West Building Greenhouse</u>				1975	no	1	363	<u>Commentary</u>	—	—	—	—	
<u>East Weight Room Addition</u>				1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
<u>Center Building Addition</u>				1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition				1981	no	1	7,122	C=Under Contract					
<u>East Classroom Addition Mezzanine</u>				1981	no	1	805	Renovation Cost Factor 110.06%					
<u>West Wing Addition</u>				1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$1,987,390.96					
<u>West Wing Addition Board Offices</u>				1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
<u>Performing Arts Center</u>				2002	no	1	16,344						
<u>Performing Arts Center Seating</u>				2002	yes	1	8,055						
Total							331,547						
				*HA	=	Handicapped Access							
				*Rating	=1	Satisfactory							
					=2	Needs Repair							
					=3	Needs Replacement							
				*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT						Rating	Dollar Assessment						
Cost Set: 2022													
A.	<u>Heating System</u>			3		\$350,758.50	-						
B.	<u>Roofing</u>			3		\$170,423.51	-						
C.	<u>Ventilation / Air Conditioning</u>			2		\$0.00	-						
D.	<u>Electrical Systems</u>			3		\$245,139.24	-						
E.	<u>Plumbing and Fixtures</u>			3		\$0.00	-						
F.	<u>Windows</u>			3		\$6,255.00	-						
G.	<u>Structure: Foundation</u>			2		\$0.00	-						
H.	<u>Structure: Walls and Chimneys</u>			2		\$26,438.28	-						
I.	<u>Structure: Floors and Roofs</u>			1		\$0.00	-						
J.	<u>General Finishes</u>			3		\$252,431.78	-						
K.	<u>Interior Lighting</u>			3		\$54,269.64	-						
L.	<u>Security Systems</u>			3		\$32,120.22	-						
M.	<u>Emergency/Egress Lighting</u>			3		\$8,332.74	-						
N.	<u>Fire Alarm</u>			3		\$25,069.44	-						
O.	<u>Handicapped Access</u>			3		\$42,602.62	-						
P.	<u>Site Condition</u>			2		\$57,119.57	-						
Q.	<u>Sewage System</u>			1		\$0.00	-						
R.	<u>Water Supply</u>			1		\$0.00	-						
S.	<u>Exterior Doors</u>			3		\$17,590.50	-						
T.	<u>Hazardous Material</u>			3		\$10,239.44	-						
U.	<u>Life Safety</u>			3		\$31,336.80	-						
V.	<u>Loose Furnishings</u>			3		\$54,269.64	-						
W.	<u>Technology</u>			3		\$66,804.36	-						
X.	<u>Construction Contingency / Non-Construction Cost</u>			-		\$354,532.83	-						
Total						\$1,805,734.11							

East Classroom Addition Mezzanine (1981) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreeage:	86.26	Suitability Appraisal Summary						
Proposed Grades	N/A	Teaching Stations:	128							
Current Enrollment	2226	Classrooms:	120							
Projected Enrollment	N/A									
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
Original East Building	1967	no	1	93,386	1.0 The School Site	100	88	88%	Satisfactory	
Original East Building Gym Mezzanine	1967	no	1	4,310	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory	
Original East Building I.S. Mezzanine	1967	no	1	1,267	3.0 Plant Maintainability	100	80	80%	Satisfactory	
East Wing Addition	1970	no	1	36,646	4.0 Building Safety and Security	200	165	83%	Satisfactory	
East Wing Addition I.S. Mezzanine	1970	no	1	863	5.0 Educational Adequacy	200	153	77%	Satisfactory	
Original West Building	1975	no	1	68,505	6.0 Environment for Education	200	161	81%	Satisfactory	
Original West Building Auditorium	1975	no	1	2,399	LEED Observations	—	—	—	—	
Original West Building Greenhouse	1975	no	1	363	Commentary	—	—	—	—	
East Weight Room Addition	1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
Center Building Addition	1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition	1981	no	1	7,122	C=Under Contract					
East Classroom Addition Mezzanine	1981	no	1	805	Renovation Cost Factor					
West Wing Addition	1981	yes	1	7,263	Cost to Renovate (Cost Factor applied)					
West Wing Addition Board Offices	1981	no	1	13,770	\$256,311.58					
Performing Arts Center Seating	2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
Performing Arts Center	2002	yes	1	8,055						
Total				331,547						
*HA = Handicapped Access										
*Rating =1 Satisfactory										
=2 Needs Repair										
=3 Needs Replacement										
*Const P/S = Present/Scheduled Construction										
FACILITY ASSESSMENT										
Cost Set: 2022				Rating	Dollar Assessment					
A.	Heating System			3	\$39,646.25					
B.	Roofing			3	\$0.00					
C.	Ventilation / Air Conditioning			2	\$0.00					
D.	Electrical Systems			3	\$27,708.10					
E.	Plumbing and Fixtures			3	\$0.00					
F.	Windows			3	\$0.00					
G.	Structure: Foundation			2	\$0.00					
H.	Structure: Walls and Chimneys			2	\$0.00					
I.	Structure: Floors and Roofs			1	\$0.00					
J.	General Finishes			3	\$74,629.45					
K.	Interior Lighting			3	\$6,134.10					
L.	Security Systems			3	\$3,630.55					
M.	Emergency/Egress Lighting			3	\$941.85					
N.	Fire Alarm			3	\$2,833.60					
O.	Handicapped Access			3	\$185.15					
P.	Site Condition			2	\$14,127.15					
Q.	Sewage System			1	\$0.00					
R.	Water Supply			1	\$0.00					
S.	Exterior Doors			3	\$0.00					
T.	Hazardous Material			3	\$96.60					
U.	Life Safety			3	\$3,542.00					
V.	Loose Furnishings			3	\$6,134.10					
W.	Technology			3	\$7,550.90					
X.	Construction Contingency / Non-Construction Cost			-	\$45,723.70					
Total					\$232,883.50					

West Wing Addition (1981) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary										
Proposed Grades	N/A	Teaching Stations:	128											
Current Enrollment	2226	Classrooms:	120											
Projected Enrollment	N/A													
Addition				Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category	
<u>Original East Building</u>				1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory		
<u>Original East Building Gym. Mezzanine</u>				1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory		
<u>Original East Building I.S. Mezzanine</u>				1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory		
<u>East Wing Addition</u>				1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory		
<u>East Wing Addition I.S. Mezzanine</u>				1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory		
<u>Original West Building</u>				1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory		
<u>Original West Building Auditorium</u>				1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—		
<u>Original West Building Greenhouse</u>				1975	no	1	363	<u>Commentary</u>	—	—	—	—		
<u>East Weight Room Addition</u>				1976	no	1	5,718	Total	1000	801	80%	Satisfactory		
<u>Center Building Addition</u>				1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates						
<u>East Classroom Addition</u>				1981	no	1	7,122	C=Under Contract						
<u>East Classroom Addition Mezzanine</u>				1981	no	1	805	Renovation Cost Factor 110.06%						
West Wing Addition				1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$1,864,593.35						
<u>West Wing Addition Board Offices</u>				1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>						
<u>Performing Arts Center</u>				2002	no	1	16,344							
<u>Performing Arts Center Seating</u>				2002	yes	1	8,055							
Total							331,547							
				*HA	=	Handicapped Access								
				*Rating	=1	Satisfactory								
					=2	Needs Repair								
					=3	Needs Replacement								
				*Const P/S	=	Present/Scheduled Construction								
FACILITY ASSESSMENT														
Cost Set: 2022								Rating	Dollar Assessment					
A.	<u>Heating System</u>			3				\$357,702.75	-					
B.	<u>Roofing</u>			3				\$0.00	-					
C.	<u>Ventilation / Air Conditioning</u>			2				\$0.00	-					
D.	<u>Electrical Systems</u>			3				\$249,992.46	-					
E.	<u>Plumbing and Fixtures</u>			3				\$42,920.82	-					
F.	<u>Windows</u>			3				\$2,085.00	-					
G.	<u>Structure: Foundation</u>			2				\$0.00	-					
H.	<u>Structure: Walls and Chimneys</u>			2				\$6,783.40	-					
I.	<u>Structure: Floors and Roofs</u>			1				\$0.00	-					
J.	<u>General Finishes</u>			3				\$293,883.77	-					
K.	<u>Interior Lighting</u>			3				\$55,344.06	-					
L.	<u>Security Systems</u>			3				\$32,756.13	-					
M.	<u>Emergency/Egress Lighting</u>			3				\$8,497.71	-					
N.	<u>Fire Alarm</u>			3				\$25,565.76	-					
O.	<u>Handicapped Access</u>			3				\$36,265.14	-					
P.	<u>Site Condition</u>			2				\$56,189.03	-					
Q.	<u>Sewage System</u>			1				\$0.00	-					
R.	<u>Water Supply</u>			1				\$0.00	-					
S.	<u>Exterior Doors</u>			3				\$22,750.38	-					
T.	<u>Hazardous Material</u>			3				\$15,369.34	-					
U.	<u>Life Safety</u>			3				\$31,957.20	-					
V.	<u>Loose Furnishings</u>			3				\$55,344.06	-					
W.	<u>Technology</u>			3				\$68,126.94	-					
X.	<u>Construction Contingency / Non-Construction Cost</u>			-				\$332,626.83	-					
Total								\$1,694,160.78						

West Wing Addition Board Offices (1981) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary									
Proposed Grades	N/A	Teaching Stations:	128										
Current Enrollment	2226	Classrooms:	120										
Projected Enrollment	N/A												
Addition				Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
<u>Original East Building</u>				1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory	
<u>Original East Building Gym. Mezzanine</u>				1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory	
<u>Original East Building I.S. Mezzanine</u>				1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory	
<u>East Wing Addition</u>				1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory	
<u>East Wing Addition I.S. Mezzanine</u>				1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory	
<u>Original West Building</u>				1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory	
<u>Original West Building Auditorium</u>				1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—	
<u>Original West Building Greenhouse</u>				1975	no	1	363	<u>Commentary</u>	—	—	—	—	
<u>East Weight Room Addition</u>				1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
<u>Center Building Addition</u>				1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
<u>East Classroom Addition</u>				1981	no	1	7,122	C=Under Contract					
<u>East Classroom Addition Mezzanine</u>				1981	no	1	805	Renovation Cost Factor 110.06%					
<u>West Wing Addition</u>				1981	yes	1	7,263	Cost to Renovate (Cost Factor applied) \$3,474,965.62					
West Wing Addition Board Offices				1981	no	1	13,770	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
<u>Performing Arts Center</u>				2002	no	1	16,344						
<u>Performing Arts Center Seating</u>				2002	yes	1	8,055						
Total							331,547						
				*HA	=	Handicapped Access							
				*Rating	=1	Satisfactory							
					=2	Needs Repair							
					=3	Needs Replacement							
				*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT													
Cost Set: 2022								Rating	Dollar Assessment	C			
A.	<u>Heating System</u>			3			\$678,172.50	-					
B.	<u>Roofing</u>			3			\$0.00	-					
C.	<u>Ventilation / Air Conditioning</u>			2			\$0.00	-					
D.	<u>Electrical Systems</u>			3			\$473,963.40	-					
E.	<u>Plumbing and Fixtures</u>			3			\$48,080.70	-					
F.	<u>Windows</u>			3			\$72,945.40	-					
G.	<u>Structure: Foundation</u>			2			\$0.00	-					
H.	<u>Structure: Walls and Chimneys</u>			2			\$31,377.60	-					
I.	<u>Structure: Floors and Roofs</u>			1			\$0.00	-					
J.	<u>General Finishes</u>			3			\$464,311.70	-					
K.	<u>Interior Lighting</u>			3			\$104,927.40	-					
L.	<u>Security Systems</u>			3			\$62,102.70	-					
M.	<u>Emergency/Egress Lighting</u>			3			\$16,110.90	-					
N.	<u>Fire Alarm</u>			3			\$48,470.40	-					
O.	<u>Handicapped Access</u>			3			\$82,676.16	-					
P.	<u>Site Condition</u>			2			\$110,328.30	-					
Q.	<u>Sewage System</u>			1			\$0.00	-					
R.	<u>Water Supply</u>			1			\$0.00	-					
S.	<u>Exterior Doors</u>			3			\$5,159.88	-					
T.	<u>Hazardous Material</u>			3			\$44,129.55	-					
U.	<u>Life Safety</u>			3			\$60,588.00	-					
V.	<u>Loose Furnishings</u>			3			\$104,927.40	-					
W.	<u>Technology</u>			3			\$129,162.60	-					
X.	<u>Construction Contingency / Non-Construction Cost</u>			-			\$619,902.88	-					
Total							\$3,157,337.47						

Performing Arts Center (2002) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary									
Proposed Grades	N/A	Teaching Stations:	128										
Current Enrollment	2226	Classrooms:	120										
Projected Enrollment	N/A												
Addition				Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
<u>Original East Building</u>				1967	no	1	93,386	<u>1.0 The School Site</u>	100	88	88%	Satisfactory	
<u>Original East Building Gym. Mezzanine</u>				1967	no	1	4,310	<u>2.0 Structural and Mechanical Features</u>	200	154	77%	Satisfactory	
<u>Original East Building I.S. Mezzanine</u>				1967	no	1	1,267	<u>3.0 Plant Maintainability</u>	100	80	80%	Satisfactory	
<u>East Wing Addition</u>				1970	no	1	36,646	<u>4.0 Building Safety and Security</u>	200	165	83%	Satisfactory	
<u>East Wing Addition I.S. Mezzanine</u>				1970	no	1	863	<u>5.0 Educational Adequacy</u>	200	153	77%	Satisfactory	
<u>Original West Building</u>				1975	no	1	68,505	<u>6.0 Environment for Education</u>	200	161	81%	Satisfactory	
<u>Original West Building Auditorium</u>				1975	no	1	2,399	<u>LEED Observations</u>	—	—	—	—	
<u>Original West Building Greenhouse</u>				1975	no	1	363	<u>Commentary</u>	—	—	—	—	
<u>East Weight Room Addition</u>				1976	no	1	5,718	Total	1000	801	80%	Satisfactory	
<u>Center Building Addition</u>				1981	no	1	64,731	Enhanced Environmental Hazards Assessment Cost Estimates					
<u>East Classroom Addition</u>				1981	no	1	7,122	C=Under Contract					
<u>East Classroom Addition Mezzanine</u>				1981	no	1	805	Renovation Cost Factor					
<u>West Wing Addition</u>				1981	yes	1	7,263	Cost to Renovate (Cost Factor applied)					
<u>West Wing Addition Board Offices</u>				1981	no	1	13,770	\$2,400,576.76					
Performing Arts Center				2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
<u>Performing Arts Center Seating</u>				2002	yes	1	8,055						
Total							331,547						
				*HA	=	Handicapped Access							
				*Rating	=1	Satisfactory							
					=2	Needs Repair							
					=3	Needs Replacement							
				*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT													
Cost Set: 2022								Rating	Dollar Assessment	C			
A.	<u>Heating System</u>			3	\$700,000.00			-					
B.	<u>Roofing</u>			3	\$291,332.52			-					
C.	<u>Ventilation / Air Conditioning</u>			2	\$0.00			-					
D.	<u>Electrical Systems</u>			3	\$11,440.80			-					
E.	<u>Plumbing and Fixtures</u>			3	\$23,805.81			-					
F.	<u>Windows</u>			3	\$0.00			-					
G.	<u>Structure: Foundation</u>			2	\$0.00			-					
H.	<u>Structure: Walls and Chimneys</u>			2	\$47,082.08			-					
I.	<u>Structure: Floors and Roofs</u>			1	\$0.00			-					
J.	<u>General Finishes</u>			3	\$0.00			-					
K.	<u>Interior Lighting</u>			3	\$0.00			-					
L.	<u>Security Systems</u>			3	\$73,711.44			-					
M.	<u>Emergency/Egress Lighting</u>			3	\$19,122.48			-					
N.	<u>Fire Alarm</u>			3	\$57,530.88			-					
O.	<u>Handicapped Access</u>			3	\$3,759.12			-					
P.	<u>Site Condition</u>			2	\$369,858.17			-					
Q.	<u>Sewage System</u>			1	\$0.00			-					
R.	<u>Water Supply</u>			1	\$0.00			-					
S.	<u>Exterior Doors</u>			3	\$0.00			-					
T.	<u>Hazardous Material</u>			3	\$1,961.28			-					
U.	<u>Life Safety</u>			3	\$0.00			-					
V.	<u>Loose Furnishings</u>			3	\$0.00			-					
W.	<u>Technology</u>			3	\$153,306.72			-					
X.	<u>Construction Contingency / Non-Construction Cost</u>			-	\$428,241.49			-					
Total									\$2,181,152.79				

Performing Arts Center Seating (2002) Summary

District: Brunswick City	County: Medina	Area: North Central Ohio (4)
Name: Brunswick High	Contact: Mike Draves	
Address: 3581 Center Rd Brunswick, OH 44212	Phone: 330-273-0230	
Bldg. IRN: 3970	Date Prepared: 2016-07-13	By: Tony Schorr
	Date Revised: 2019-06-18	By: Monica Bruaw

Current Grades	9-12	Acreage:	86.26	Suitability Appraisal Summary						
Proposed Grades	N/A	Teaching Stations:	128							
Current Enrollment	2226	Classrooms:	120							
Projected Enrollment	N/A									
Addition	Date	HA	Number of Floors	Current Square Feet	Section	Points Possible	Points Earned	Percentage	Rating	Category
Original East Building	1967	no	1	93,386	Cover Sheet	—	—	—	—	—
Original East Building Gym Mezzanine	1967	no	1	4,310	1.0 The School Site	100	88	88%	Satisfactory	
Original East Building I.S. Mezzanine	1967	no	1	1,267	2.0 Structural and Mechanical Features	200	154	77%	Satisfactory	
East Wing Addition	1970	no	1	36,646	3.0 Plant Maintainability	100	80	80%	Satisfactory	
East Wing Addition I.S. Mezzanine	1970	no	1	863	4.0 Building Safety and Security	200	165	83%	Satisfactory	
Original West Building	1975	no	1	68,505	5.0 Educational Adequacy	200	153	77%	Satisfactory	
Original West Building Auditorium	1975	no	1	2,399	6.0 Environment for Education	200	161	81%	Satisfactory	
Original West Building Greenhouse	1975	no	1	363	LEED Observations	—	—	—	—	
East Weight Room Addition	1976	no	1	5,718	Commentary	—	—	—	—	
Center Building Addition	1981	no	1	64,731	Total	1000	801	80%	Satisfactory	
East Classroom Addition	1981	no	1	7,122	Enhanced Environmental Hazards Assessment Cost Estimates					
East Classroom Addition Mezzanine	1981	no	1	805	C=Under Contract					
West Wing Addition	1981	yes	1	7,263	Renovation Cost Factor 110.06%					
West Wing Addition Board Offices	1981	no	1	13,770	Cost to Renovate (Cost Factor applied) \$856,330.91					
Performing Arts Center Seating	2002	no	1	16,344	<i>The Replacement Cost Per SF and the Renovate/Replace ratio are only provided when this summary is requested from a Master Plan.</i>					
Total				331,547						
	*HA	=	Handicapped Access							
	*Rating	=1	Satisfactory							
		=2	Needs Repair							
		=3	Needs Replacement							
	*Const P/S	=	Present/Scheduled Construction							
FACILITY ASSESSMENT				Rating	Dollar Assessment					
Cost Set: 2022										
A.	Heating System			3	\$0.00	-				
B.	Roofing			3	\$190,339.65	-				
C.	Ventilation / Air Conditioning			2	\$0.00	-				
D.	Electrical Systems			3	\$5,638.50	-				
E.	Plumbing and Fixtures			3	\$0.00	-				
F.	Windows			3	\$0.00	-				
G.	Structure: Foundation			2	\$0.00	-				
H.	Structure: Walls and Chimneys			2	\$14,368.72	-				
I.	Structure: Floors and Roofs			1	\$0.00	-				
J.	General Finishes			3	\$193,893.00	-				
K.	Interior Lighting			3	\$0.00	-				
L.	Security Systems			3	\$36,328.05	-				
M.	Emergency/Egress Lighting			3	\$9,424.35	-				
N.	Fire Alarm			3	\$28,353.60	-				
O.	Handicapped Access			3	\$1,852.65	-				
P.	Site Condition			2	\$68,575.43	-				
Q.	Sewage System			1	\$0.00	-				
R.	Water Supply			1	\$0.00	-				
S.	Exterior Doors			3	\$0.00	-				
T.	Hazardous Material			3	\$966.60	-				
U.	Life Safety			3	\$0.00	-				
V.	Loose Furnishings			3	\$0.00	-				
W.	Technology			3	\$75,555.90	-				
X.	Construction Contingency / Non-Construction Cost			-	\$152,761.80	-				
Total					\$778,058.25					

Facility Assessment

A. Heating System

Description: The existing system for the East House is a gas-fired heating water system installed in 1967 and in fair condition. The heating water system for East House is a 2-pipe system with capacity for simultaneous heating and cooling operation, which is compliant with OSDM requirements for basic system type. The (5) gas-fired heating water boilers in East House are manufactured by Cleaver Brooks and were installed in 1967 and are in fair condition. Heating water is distributed to terminal units consisting of unit ventilators that are in fair condition. The existing system for Center House (1981) is also fed from the East House boilers. The heating water for Center house feeds, finned tube radiation and air handling units. The existing system for West House (1975) is air handling units with electric heat. Natural Gas heat serves the PAC addition via packaged RTUs.

Rating: 3 Needs Replacement

Recommendations: Provide new overall heating, ventilating, and air conditioning system with new ductwork to achieve compliance due to the age of the HVAC System, with Ohio Building Code and Ohio School Design Manual standards. The PAC RTUs, installed 14 years ago, are near the end of their expected life.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building J.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
HVAC System Replacement:	\$49,250	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$15,127,039.00	Includes demo of existing system and reconfiguration of piping layout and new controls, air conditioning)
Convert To Ducted System	\$9,380	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required								\$2,609,403.44	includes costs for vert. & horz. chases, cut openings, soffits, etc. Must be used in addition to HVAC System Replacement if the existing HVAC system is non-ducted)
Other: Replace RTU's	\$700,000.00	allowance																Required		\$700,000.00	Replace RTU's on Performing Arts Addition
Sum:			\$18,436,442.44	\$5,475,221.18	\$252,695.30	\$74,284.21	\$2,148,554.98	\$50,597.69	\$4,016,448.15	\$140,653.37	\$21,282.69	\$335,246.34	\$3,795,178.53	\$350,758.50	\$39,646.25	\$357,702.75	\$678,172.50	\$700,000.00	\$0.00		



Heating water boilers



Air handling unit

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Facility Assessment

B. Roofing

Description: The roof systems for the overall complex are a combination of a coal tar built-up system installed in 1967, a GRM membrane system installed approximately in 1981, metal seam roofing systems installed over the Gymnasiums, PVC systems installed in 2002, 2008 and 2009, and a 2-ply modified bitumen system installed in 2015 and 2016. The systems are generally in poor to good condition. The 2-ply modified bitumen system installed in 2015 updated a significant portion of the 1975 and 1981 additions and a portion of the 2002 PAC Addition. A limited portion of the 1967 Original Building and 1970 Addition roof was in progress of replacement at the time of assessment with a 2-ply modified bitumen system. The date of installation of the metal roof assemblies were not identified, but are assumed to exceed 10 years of age. Access to the roof was gained from a mechanical mezzanine/penthouse with walk-out access to the roof. Edge trim and cap flashings at the dated PVC, GRM and coal tar systems are in fair to poor condition. Edge trim and cap flashings at the updated modified bitumen systems are in good condition. Roof storm drainage is addressed through a system of roof drains and downspouts/gutters. The 2002 PAC Addition is equipped with an overflow system, but the majority of the remaining complex does not have overflow protection.

Rating: 3 Needs Replacement

Recommendations: Provide for replacement of the dated coal tar built-up roof system, GRM membrane system, metal seam roofing systems and PVC systems remaining at the 1967, 1970, 1975, and 1981 East Classroom and 2002 PAC Additions. Replace edge trim and cap flashings, provide an overflow drainage system, and replace gutters/downspouts in conjunction with roof replacement at the 1967, 1970, 1975, and 1981 additions. The 2-ply modified bitumen systems are in good condition, are anticipated to have good life expectancy, and do not require renovation or repair at the current time. 3-18-19 RPC Update: Add Roof Insulation per the recommendation of the Architect.

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 68,505 ft²	Original West Building Greenhouse (1975) 2,399 ft²	Original West Building (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Addition Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments	
Membrane (all types / fully adhered):	\$18.12	sq.ft. (Qty)		81,660 Required			35,290 Required					5,718 Required		6,297 Required					11,525 Required	8,055 Required	\$2,691,635.40	(unless under 10,000 sq.ft.)
Standing Metal Seam:	\$22.56	sq.ft. (Qty)		9,206 Required		3,900 Required			9,500 Required												\$509,991.36	
Repair/replace cap flashing and coping:	\$21.58	h.ft.		1,880 Required			1,020 Required					340 Required		350 Required					950 Required		\$97,973.20	
Gutters/Downspouts	\$15.36	h.ft.		320 Required					360 Required												\$10,444.80	
Overflow Roof Drains and Piping:	\$3,518.10	each		18 Required			6 Required					2 Required		4 Required							\$105,543.00	
Roof Insulation:	\$5.51	sq.ft. (Qty)		90,866 Required	3,900 Required		35,290 Required		9,500 Required			5,718 Required		6,297 Required					11,252 Required	8,055 Required	\$941,537.78	(tapered insulation for limited area use to correct ponding)
Sum:			\$4,357,125.54	\$2,296,849.62	\$21,489.00	\$87,984.00	\$877,022.90	\$0.00	\$272,194.60	\$0.00	\$0.00	\$149,489.74	\$0.00	\$170,423.51	\$0.00	\$0.00	\$0.00	\$0.00	\$291,332.52	\$190,339.65		



2-Ply system



PVC System

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Facility Assessment

C. Ventilation / Air Conditioning

Description: The East House (1967) is equipped with self-contained unit ventilator air conditioning system, which is in fair condition. The Center House (1981) is equipped with multiple air handling units with Dx cooling. The Dx cooling is being replaced this summer (2016.) The West House (1981) is equipped with multiple air handling units with chilled water coils and a 1974 water cooled chiller and cooling tower in fair condition. The ventilation system in the overall facility consists of unit ventilators, installed in 1981 & 1985 and in fair condition, providing fresh air to Classrooms, and air handlers in fair condition, providing fresh air to miscellaneous spaces such as Gymnasiums, Student Dining, Media Center / etc. Classroom spaces relief and air venting is provided by ceiling plenums. The ventilation system does meet the Ohio Building Code 15 CFM per occupant fresh air requirement. The overall system is not compliant with Ohio Building Code and Ohio School Design Manual requirements. Exhaust systems for (Restrooms / Kitchen / Gymnasium / Storage Rooms / Custodial Closets) are adequately placed, and in good condition. PAC is served by 10 packaged rooftop units (RTUs), all 15 tons and under. Three 40% outside air units have energy recovery wheels. Total OA is 10 CFM/P, or total of 30% outside air, and is adequate for the PAC. Underground PAC ducts should be inspected for leaks.

Rating: 2 Needs Repair

Recommendations: Due to the age of the HVAC System provide an air conditioning system with new ductwork to meet with Ohio Building Code and Ohio School Design Manual requirements. Pricing included in Item A. PAC units should be replaced, due to their age (14+ years).

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments	
Kiln Exhaust System:	\$5,863.50	each					3 Required														\$17,590.50	
Sum:			\$17,590.50	\$0.00	\$0.00	\$0.00	\$17,590.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



Roof mounted condensing units



Indoor chiller

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Facility Assessment

D. Electrical Systems

Description: The electrical system provided to the East House, located in the main mechanical room, is a 480/277V., 1000 amp, 3 phase, 4 wire system in fair condition. Power is provided via a padmount transformer. The panel system appears to be original. The East House is equipped with an unsuitable emergency generator that isn't functional. Adequate lightning protection safeguards are not provided. The electrical system provided to the Center House is 480/277V., 800A; and a 150kVA transformer serves a 208/120V. 400A. panel. Power is provided via a padmount transformer. There is no generator serving the Center House. They panel system is original and in fair condition. The electrical system provided to the West House is 480/277V., 1200A. service, with a transformer and 1200A. 208/120V. panel. Power is provided via a padmount transformer. There is no generator serving the West House. They panel system is original and in fair condition. The electrical system provided to the PAC is 480/277V., 1200A. service, with three transformers to step down to 208/120V. panels; separate transformers are provided for stage lighting, sound, and other power. Power is provided via a site padmount transformer. There is no generator serving the PAC. The panels are in good condition. The Classrooms are equipped with adequate electrical outlets. The typical Classroom contains 4-6 general purpose outlets, some have dedicated outlets for Classroom computers, and televisions. The Corridors are equipped with adequate electrical outlets for servicing, as well as outlets near the ceiling for TVs. Stage lighting power system including control panel, breakers, and dimmers is inadequately provided, in good condition and does not meet OSDM requirements. The overall electrical system does not meet Ohio School Design Manual requirements in supporting the current needs of the school, and will be inadequate to meet the facility's future needs.

Rating: 3 Needs Replacement

Recommendations: The entire electrical system, except for the PAC system, requires replacement to meet Ohio School Design Manual guidelines for overall capacity, due to condition and age, and lack of OSDM-required features. Provide lightning protection at the overall facility.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building J.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
System Replacement:	\$33.72	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$10,357,030.56	Includes item of existing system. Includes generator for life safety systems. Does not include telephone or data or equipment. (Use items below ONLY when the entire system is NOT being replaced)
Lightning Protection	\$0.70	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$232,082.90	
Sum:			\$10,589,113.46	\$3,214,346.12	\$1,483,350.20	\$43,610.14	\$1,261,355.32	\$29,704.46	\$2,357,942.10	\$82,573.58	\$12,494.46	\$196,813.56	\$2,228,041.02	\$245,139.24	\$27,708.10	\$249,992.46	\$73,963.40	\$1,440,805.63	\$5,638.50		



Electrical switchgear (East House)



Electrical switchgear (West House)

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Facility Assessment

E. Plumbing and Fixtures

Description: There are (2) service entrances for the school, each is equipped with 4" reduced pressure backflow preventer in good condition. A separate 2.5" service is provided for the PAC; the backflow preventer needs to be verified. The domestic water supply piping in the overall facility is copper original to each addition, and is in good condition. The waste piping in the overall facility is cast iron, is original to each addition, and is in good condition. The facility is equipped with one electric water heater in each wing (East, Center, West) in good condition. Three electric water heaters (total 100 gallons) are provided for the PAC, are 14 years old, and are in fair condition. The school facility contains 22 group/locker room restrooms (11 girls, 11 boys), one clinic toilet, one kitchen toilet, 19 staff/single occupancy toilet facilities. Fixtures are a combination wall and floor mounted toilets, wall mounted urinals and wall, floor and counter mounted lavatories. Fixtures have been updated at select locations, but dated installations remain in some areas. Portions of the toilet facilities were renovated in 2002 to provide accessible accommodations, but do not fully conform to the provision of the ADA or ANSI Guidelines in all areas. The locations of flush valves at accessible water closets obstruct grab bar installations in several locations. Faucets and flush valve assemblies are a combination of manual and automatic. Fixtures are generally in fair to good condition. Toilet facilities at the 2002 PAC Addition are generally compliant with ADA requirements, but are lacking vertical grab bars at the accessible water closets. The school meets the OBC requirement for fixture count. ADA/ANSI requirements are not met for fixtures and drinking fountains (refer to Plate O). A portion of the toilet facilities throughout the 1967, 1970, 1975 and 1981 Additions are not accessible and do not conform to the provisions of the ADA/ANSI Guidelines. The 1976 Addition is not equipped with toilet facilities.

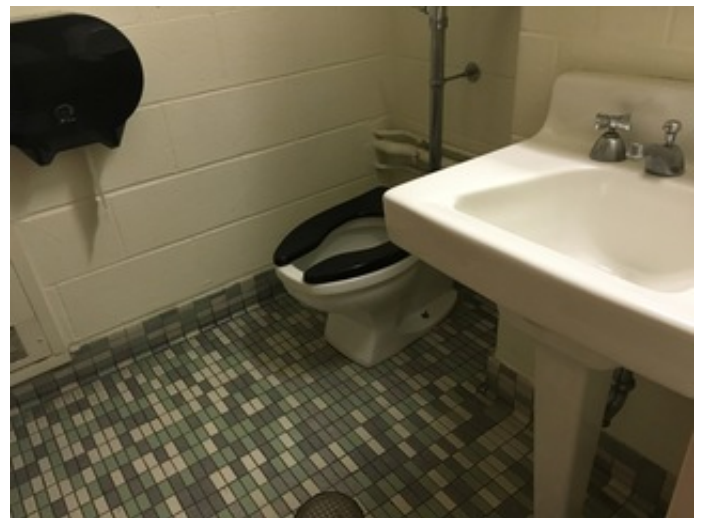
Rating: 3 Needs Replacement

Recommendations: Provide new fixtures to replace dated existing wall and floor mounted assemblies because of age. Provide new fixtures in conjunction with ADA modifications. Replace select flush valves and faucets throughout the complex for water efficiency. Replace water and sanitary waste piping at the 1967, 1970, 1975 and 1976 Additions due to age. Refer to Plate O for accessible provisions. Provide new water heaters and verify operation of BFP at the PAC.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition J.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
Back Flow Preventer:	\$5,863.50	unit		93,386 ft²	4,310 ft²	1,267 ft²	36,646 ft²	863 ft²	68,505 ft²	2,399 ft²	363 ft²	5,718 ft²	64,731 ft²	7,122 ft²	805 ft²	7,263 ft²	13,770 ft²	16,344 ft²	8,055 ft²	\$5,863.50	
Domestic Supply Piping:	\$4.10	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$875,173.70	(remove / replace)
Sanitary Waste Piping:	\$4.10	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$875,173.70	(remove / replace)
Domestic Water Heater:	\$5,980.77	per unit							2 Required				1 Required						3 Required	\$35,884.62	(remove / replace)
Toilet:	\$4,456.26	unit		22 Required			11 Required		14 Required				4 Required			3 Required		9 Required		\$280,744.38	(new)
Urinal:	\$4,456.26	unit		11 Required			10 Required		7 Required				4 Required			4 Required		1 Required		\$164,881.62	(new)
Sink:	\$2,931.75	unit		22 Required			10 Required		9 Required				11 Required			4 Required				\$164,178.00	(new)
Electric water cooler:	\$3,518.10	unit							1 Required				1 Required							\$7,036.20	(double ADA)
Replace faucets and flush valves	\$586.35	per unit		54 Required					42 Required				2 Required					6 Required		\$60,980.40	(average cost to remove/replace)
Sum:			\$2,469,916.12	\$1,008,983.18	\$35,342.00	\$10,389.40	\$423,396.16	\$7,076.60	\$721,814.55	\$19,671.80	\$2,976.60	\$46,887.60	\$78,570.90	\$0.00	\$0.00	\$42,920.82	\$48,080.70	\$23,805.81	\$0.00		



Counter lavatories



Typical fixtures

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Facility Assessment

F. Windows

Description: The 1967 Original East Building, 1970 and 1976 Additions are equipped with operable and fixed aluminum systems with double pane insulated glazing units. The units are not equipped with integral blinds and glazing seals are compromised in multiple locations. The window systems are in fair to poor condition. The 1975 Original West Building is equipped with an operable aluminum window system with insulated glazing and integral blinds and greenhouse assembly in fair condition. The 1981 Additions are equipped with an operable thermal broken aluminum window system with dual pane insulated glazing in fair condition. The window and entry assemblies of the 1967 through 1981 Additions exceed 20+ years of age and have reached their useful life expectancy. The 2002 PAC Addition is equipped with a thermally broken aluminum window system and curtain wall assemblies with double pane insulated glazing in satisfactory condition. The assemblies are not equipped with integral blinds and are anticipated to have good life expectancy. The 2002 PAC Addition features several decorative glass block wall assemblies in good condition.

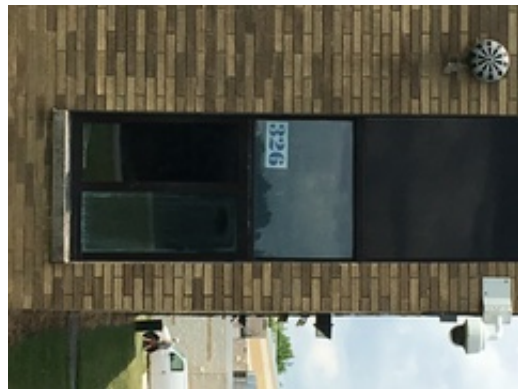
Rating: 3 Needs Replacement

Recommendations: Replace all window assemblies at the 1967, 1970, 1975, 1976 and 1981 Additions due to age and condition. Provide a new insulated window system with integral blinds to meet the Ohio School Design Manual requirements and replace sidelights and transoms at entries with a thermally efficient storefront system. Replace greenhouse glazing system at the 1975 Addition. The existing conditions at the 2002 PAC Addition require no renovation or repair at the current time.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments		
Insulated Glass/Panels:	\$119.09	sq.ft. (Qty)		2,400 Required			1,440 Required		800 Required				1,180 Required								\$759,794.20	(includes integral blinds and removal of existing windows)	
Curtain Wall System:	\$104.25	sq.ft. (Qty)		200 Required					130 Required				40 Required	60 Required		20 Required	60 Required					\$53,167.50	(includes demo of existing and replacement with new)
Greenhouse Replacement	\$99.68	sq.ft. (Qty)									363 Required											\$36,183.84	(demo and replace; based on area of greenhouse floor)
Sum:			\$849,145.54	\$306,666.00	\$0.00	\$0.00	\$171,489.60	\$0.00	\$108,824.50	\$0.00	\$36,183.84	\$0.00	\$144,696.20	\$6,255.00	\$0.00	\$2,085.00	\$72,945.40	\$0.00	\$0.00				



Typical window



Typical window

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Facility Assessment

G. Structure: Foundation

Description: The overall complex is equipped with concrete masonry foundation walls on concrete footings which display no locations of significant differential settlement, cracking or leaking and are in satisfactory condition except for the north ramp assembly at the PAC Addition. The ramp pavement surfaces have settled or were not properly graded. Ramp retaining wall structure displays minor areas of cracking in a few locations.

Rating: 2 Needs Repair

Recommendations: The existing conditions at the overall building require no renovation or repair at the current time. Refer to Plate H for funding for repair of the ramp assembly at the 2002 PAC Addition and overall wall repairs.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Gym Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments		
Waterproofing Membrane:	\$11.14	sq.ft. (Qty)						3,258 Required													\$36,294.12	(include excavation and backfill)	
Drainage Tile Systems / Foundation Drainage:	\$21.11	in.ft.						543 Required														\$11,462.73	(include excavation and backfill)
Other: Add Control Joint	\$10,000.00	per unit							1 Required				1 Required									\$20,000.00	Add Control Joint In Corrodors
Other: Music Room Floor Slab Repair	\$110,041.00	allowance											Required									\$110,041.00	Repair floor slab settlement in Music Room
Other: Remove and Replace Concrete	\$8.00	sq.ft. (Qty)							1,600 Required													\$12,800.00	Remove and Replace concrete
Sum:			\$190,597.85	\$0.00	\$0.00	\$0.00	\$0.00	\$47,756.85	\$22,800.00	\$0.00	\$0.00	\$0.00	\$120,041.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				



Ramp



Crack at retaining wall

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Facility Assessment

H. Structure: Walls and Chimneys

Description: The 1967 Original East Building, 1970 and 1976 Additions have brick and glazed brick masonry bearing wall systems which display limited areas of deterioration and are generally in fair to good condition. Face brick is spalled in a few areas and displays limited areas of mortar deterioration. Areas of mortar displacement have been improperly repaired with sealant. Metal panel siding features at these additions has been repainted successive times and surface finish is in poor condition. The 1975 Original West Building and 1981 Additions have a scored split-face CMU masonry bearing wall system which display limited areas of deterioration. CMU is damaged in a few areas and displays limited areas of mortar deterioration. The 2002 PAC Addition has a split face masonry bearing wall system which is generally in good condition except for retaining walls and adjoining wall structure at the north façade ramp assembly, which displays a few areas of cracking and minor mortar deterioration. Refer to additional comments at Plate G. A limited portion of the existing lintels at openings throughout the 1967-1981 Additions display evidence of deterioration. The overall building, excluding the 1967 and 1970 additions, is equipped with control joints, and sealants are typically in fair condition and in need of maintenance.

Rating: 2 Needs Repair

Recommendations: Provide tuckpointing in all areas of mortar deterioration, replace deteriorated lintels, repair damaged brick/CMU, provide masonry cleaning and sealing and replace sealants at the overall complex. Repair retaining wall and ramp assembly at the 2002 PAC Addition inclusive of replacement of ramp pavement surfaces. Replace metal siding at the 1967 and 1970 Additions and include replacement of coping/edge trim at newly renovated roof area. Refer to Plate B for edge trim replacement associated with roof replacements.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
				93,386 ft²	4,310 ft²	1,267 ft²	36,646 ft²	963 ft²	68,505 ft²	2,399 ft²	363 ft²	5,718 ft²	64,731 ft²	7,122 ft²	805 ft²	7,263 ft²	13,770 ft²	16,344 ft²	8,055 ft²		
Tuckpointing:	\$8.80	sq.ft. (Qty)		1,500 Required			1,200 Required		2,000 Required			140 Required	1,800 Required	40 Required		20 Required	40 Required			\$59,312.00	(wall surface)
Exterior Masonry Cleaning:	\$1.76	sq.ft. (Qty)		15,000 Required			12,000 Required		748 Required			2,800 Required	18,000 Required	4,000 Required		2,180 Required	4,360 Required	12,656 Required	4,904 Required	\$134,900.48	(wall surface)
Exterior Masonry Sealing:	\$1.17	sq.ft. (Qty)		15,000 Required			12,000 Required		748 Required			2,800 Required	18,000 Required	4,000 Required		2,180 Required	4,360 Required	12,656 Required	4,904 Required	\$89,678.16	(wall surface)
Exterior Caulking:	\$8.80	n.ft.							300 Required			100 Required	600 Required	100 Required		25 Required	75 Required			\$10,560.00	(removing and replacing)
Replace Brick Veneer System:	\$41.04	sq.ft. (Qty)		150 Required			50 Required		20 Required				20 Required							\$9,849.60	(total removal and replacement including pinning and shoring)
Lintel Replacement:	\$293.18	n.ft.		38 Required			38 Required		100 Required				60 Required	46 Required			60 Required			\$100,267.56	(total removal and replacement including pinning and shoring)
Other: Infill Brick @ Unit Ventilators	\$49.00	sq.ft. (Qty)		84 Required			101 Required		100 Required	748 Required			70 Required							\$54,047.00	Infill Brick @ Unit Ventilators
Other: Remove Existing Chimney	\$50,000.00	allowance		Required														Required		\$50,000.00	Demolish Existing Masonry Chimney
Other: Repair ramp and retaining walls	\$10,000.00	allowance																	Required	\$10,000.00	Repair ramp and retaining wall assembly at PAC
Other: Repair Roof Overhang	\$20,000.00	unit							1 Required				1 Required							\$40,000.00	Repair Roof Overhang
Other: Repalce metal siding	\$16.50	sq.ft. (Qty)		6,200 Required			1,300 Required													\$123,750.00	Replace metal siding
Other: Replace edge trim and cap flashings	\$18.40	n.ft.		40 Required			70 Required													\$2,024.00	Replace edge trim in conjunction with siding replacement
Sum:			\$684,388.80	\$231,598.84	\$0.00	\$0.00	\$86,599.84	\$0.00	\$77,470.44	\$36,652.00	\$0.00	\$10,316.00	\$115,701.60	\$26,438.28	\$0.00	\$6,783.40	\$31,377.60	\$47,082.08	\$14,368.72		



Typical CMU wall



Metal siding

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Facility Assessment

I. Structure: Floors and Roofs

Description: The floor construction of the base floor of the overall facility is concrete slab-on-grade. The floor construction of intermediate mezzanine levels at the overall facility varies per addition and consists of prefabricated concrete decking and concrete supported on metal deck, and steel bar joist framing. The roof construction at the overall complex varies per addition and consists of tectum or panelized deck system over steel bar joist and metal decking over steel bar joist framing. Ceiling clearance to structural deck is approximately 18"-36" in Classroom areas of the overall building. The systems are generally in satisfactory condition. No issues or concern were reported by District Administration.

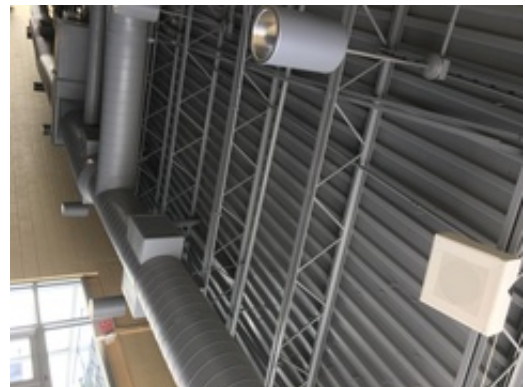
Rating: 1 Satisfactory

Recommendations: Existing conditions require no renovation or repair at the present time.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. (1967)	Original East Building J.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
				93,386 ft²	Mezzanine 4,310 ft²	Mezzanine 1,267 ft²	36,646 ft²	863 ft²	68,505 ft²	2,399 ft²	363 ft²	5,718 ft²	64,731 ft²	7,122 ft²	805 ft²	7,263 ft²	13,770 ft²	16,344 ft²	8,055 ft²		
Other: 4" Concrete Equipment Pads	\$19.50	sq.ft. (Qty)							200	Required										\$3,900.00	Equipment Pads in Mechanical Room
Other: Mechanical Room Floor Patch	\$6.00	sq.ft. (Qty)							321	Required										\$1,926.00	Mechanical Room Floor Patch
Sum:			\$5,826.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$5,826.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



Pre-fab concrete deck



Joist framing and metal deck

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J. General Finishes

Description:	<p>The majority of the complex features a conventional partitioned classroom design utilizing CMU wall partitions, gypsum stud wall partitions and panelized demountable partition systems. A portion of the Classroom areas are equipped with moveable partitions to permit flexibility of Classroom space. Typical finishes vary throughout the complex and are a combination of newer and dated assemblies, and do not provide a unified scheme throughout the facility. The interior of the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions were renovated at select areas of the facilities in 2002. Improvements included renovation of a portion of science classrooms, conversion of an existing Auditorium space to art classroom studios, locker replacement, select door replacements, ADA toilet fixture improvements and corridor floor and ceiling improvements. Toilet renovations included fixture replacement to accommodate ADA access at a portion of the large group toilet facilities, but typically did not include finish replacement or improvements. The updated finishes now exceed 14+ years of age and display evidence of wear in some areas. Casework improvements were limited to science classroom areas. The majority of existing casework is plastic laminate and appears to be original. There is little casework in Classrooms. The majority of the interior doors throughout the 1967-1981 Additions are equipped with knob hardware. A limited quantity of door assemblies are equipped with lever hardware. A portion of the existing door assemblies do not conform to the provisions of the ADA/ANSI Guidelines due to recessed or narrow openings. Door sidelights and borrow light openings are typically equipped with wire glass. Typical finishes at Classrooms consist of VAT, VCT, carpet and luxury vinyl tile flooring, painted CMU, painted gypsum stud walls and demountable partitioned wall framing, and acoustical ceilings. Typical Corridor finishes consist of resilient sheet and VCT flooring, painted CMU, painted gypsum stud walls and demountable partition wall framing and acoustic ceilings. The existing demountable partitions are typically dated installations but are being well maintained and are generally in satisfactory condition. Doors installed within these assemblies display signs of wear in some locations. The assemblies exceed 35+ years of age and have generally reached their useful life expectancy. Typical toilet room finishes consist of VAT, VCT, CMU, quarry tile and porcelain mosaic tile flooring, glazed CMU, painted CMU, plaster, gypsum and tile wall finishes, acoustical and painted hard surface ceilings. A portion of the toilet partitions are solid resin in good condition but the majority of toilet partitions are metal and generally dated. The Gymnasiums have athletic flooring and exposed ceilings. The primary Gym was renovated in 2011. The Media Center is equipped with luxury vinyl tile flooring, painted wall surfaces and acoustical ceiling, and recently renovated. The existing luxury vinyl flooring provided at select Classroom spaces is a recent improvement to these areas. The Kitchens are full service kitchens and their combined area is inadequately sized based upon current enrollment. The majority of the existing kitchen equipment is original or installed before 1996 and exceeds 20+ years of age. The 2016 asbestos surveillance report identifies the complex is known to contain 9" and 12" ACM vinyl tile flooring and mastic, and ACM mastic under non-ACM flooring. The 2002 PAC Addition provides a pleasant and cohesive design. The Addition receives less traffic than the primary education spaces throughout the remaining complex and finishes are typically in good condition. The Addition contains a fully automatic fire suppression system and does not require disturbance of existing ceiling areas. Finishes throughout the PAC consist of VCT, carpet tile, and stained concrete flooring, painted wall surfaces, painted exposed ceilings and acoustical ceiling systems. The PAC Addition was generally designed to comply with provision of the ADA/ANSI Guidelines. Doors throughout this portion of the complex are equipped with compliant/lever hardware and provide adequate maneuvering clearance.</p>
Rating:	3 Needs Replacement
Recommendations:	<p>Updated finishes and lockers are in good condition, but modifications at existing door recesses to provide required accessible maneuvering clearance will disturb a portion of the existing lockers, and replacement of remaining dated finishes approaches 2/3 the cost of full replacement. Provide complete replacement of kitchen equipment at the 1967 and 1975 Additions. Provide complete replacement of finishes, casework, worn and damaged doors and dated toilet partitions throughout the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions due to age, condition and installation of systems outlined in Plates A, C, D, E, K, L, M, N, T and U. Replace ceiling at the 1975 Original West Building Auditorium due to work outlined at Plates U. Replace demountable partitions at the 1975 and 1981 Additions. The existing conditions at the 2002 PAC Addition require no renovation or repair at the current time. 3/19/19 RPC Update: Per the Architect's Challenge report: 1) provide for complete replacement of finishes and casework in the 1981 West Wing, 2) delete the line item replacing the acoustic ceiling tile replacement, 3) increase the "new fixed seating" cost from \$220 to \$320/seat and 4) increase the "re-upholster existing seats" to \$150/seat. 5-15-19 RPC Update: Replace the items removed for hazardous materials per the EEHA report.</p>

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 68,505 ft²	Original West Building Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Addition Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments	
Acoustic Ceiling:	\$5.28	sq.ft. (Qty)								2,399 Required										\$12,666.72	partial finish - tear out and replace per area)	
Carpet:	\$8.21	sq.ft. (Qty)								2,399 Required									3,300 Required	\$46,788.79	partial finish - tear out and replace per area)	
Complete Replacement of Finishes and Casework (High):	\$31.48	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required			Required	Required	Required	Required	Required	Required			\$9,585,115.14	High school per building area, with removal of existing)	
Toilet Partitions:	\$1,172.70	per stall		1 Required						4 Required			1 Required			3 Required					\$10,554.30	(removing and replacing)
Resilient Wood/Synthetic Flooring	\$15.07	sq.ft. (Qty)								7,588 Required											\$114,351.16	(tear-out and replace per area)
Remove Demountable Partitions / Install New GWB Partitions:	\$10.55	sq.ft. (Qty)								22,845 Required						3,500 Required					\$277,939.75	includes the demolition of the demountable partition, new partition with 5/8" abuse board, 10' high walls braced to structure above and the use of existing electric and data runs; unit price is based on floor area)
Additional Wall Insulation	\$7.04	sq.ft. (Qty)		15,000 Required			12,000 Required	20,000 Required	748 Required			2,800 Required	18,000 Required	4,000 Required	7,000 Required	2,180 Required	4,360 Required				\$606,059.52	(includes the furring out of the existing walls, insulation and abuse resistant (GWB))
Laboratory Table / Countertop Replacement	\$175.91	ln.ft.		160 Required					360 Required												\$91,473.20	Hazardous Material Replacement Cost - See T.)
Door and Window Panel Replacement	\$234.54	each		45 Required					10 Required							40 Required					\$22,281.30	Hazardous Material Replacement Cost - See T.)
Non-ACM Acoustical Panel Ceiling Replacement	\$1.76	sq.ft. (Qty)								192 Required											\$337.92	Hazardous Material Replacement Cost - See T.)
Total Kitchen Equipment Replacement:	\$222.81	sq.ft. (Qty)		2,833 Required					1,461 Required												\$956,746.14	square footage based upon only existing area of food preparation, serving, kitchen storage areas and walk-ins. Includes demolition and removal of existing kitchen equipment)
Other: New Fixed Seating	\$320.00	per unit								200 Required											\$64,000.00	New Fixed Seating
Other: Paint Portions of Auditorium	\$2.00	sq.ft. (Qty)								2,399 Required											\$4,798.00	Paint Portions of Auditorium
Other: Re-upholster Existing Seats	\$150.00	per unit																	1,112 Required		\$166,800.00	Re-upholster Existing Seats
Sum:			\$11,959,911.94	\$3,717,418.47	\$135,721,906	\$39,897,836	\$1,238,462,548	\$167,975,876	\$2,913,743,496	\$101,498,436	\$0.00	\$199,771,826	\$2,166,271,896	\$252,431,786	\$74,629,456	\$293,883,776	\$464,311,706	\$0.00	\$193,893.00			



Casework



Demountable partitions

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Facility Assessment

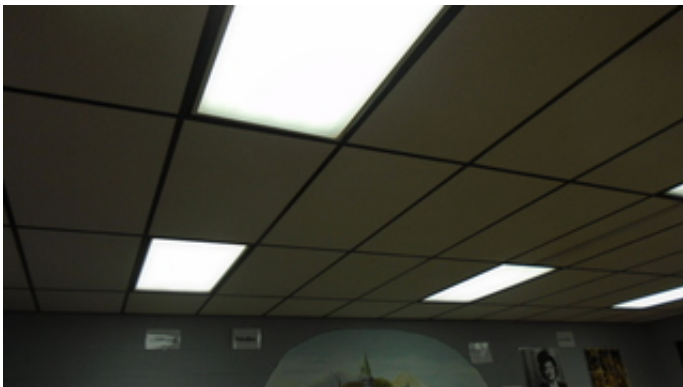
K. Interior Lighting

Description: The typical Classrooms in the East House are equipped with 4-lamp T-8 2x4 lay-in fluorescent fixtures with "egg crate" panels, and dual level switching. Classroom fixtures are in fair condition, providing an average illumination of 50-55 FC, thus complying with the 40 FC recommended by the OSDM. The typical Classrooms in the Center House are equipped with 4-lamp T-8 2x4 lay-in fluorescent fixtures (some 2x2) with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 35-42 FC, mostly complying with the 40 FC recommended by the OSDM. The typical Classrooms in the West House are equipped with 4-lamp T-8 2x4 lay-in fluorescent fixtures with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 40 FC, thus complying with the 40 FC recommended by the OSDM. The typical Corridors in the overall facility are equipped with T-8 2x4 lay-in fluorescent fixtures with single level switching, generally via circuit breakers (few key switches). Corridor fixtures are in good condition, providing an average illumination of 25 FC, thus complying with the 20 FC recommended by the OSDM. The East House Gymnasium is equipped with 6-lamp T5 suspended fluorescent fixtures, in good condition, with remote toggle switches, providing an average illumination of 50 FC, thus complying with the 50 (HS) FC recommended by the OSDM. The West House Gymnasium is equipped with 4-lamp 2x4 suspended fluorescent fixtures, in good condition, with circuit breaker switching, providing an average illumination of 45 FC, thus complying with the 50 (HS) FC recommended by the OSDM. The Student (Media) Center is equipped with 4-lamp T-8 2x4 and 4x4 lay-in fluorescent fixtures fluorescent fixture type lighting in very good condition, providing an average illumination of 35-40 FC, thus complying with the 30 FC recommended by the OSDM. The Student Dining spaces are equipped with 4-lamp T-8 2x4 lay-in fluorescent fixtures with single level switching, primarily via circuit breakers. Student Dining fixtures are in good condition. The East House dining lighting provides an average illumination of 53 FC, and the West House 40 FC, thus complying with the 40 FC recommended by the OSDM. The Kitchen spaces in the East House are equipped with 1x4 surface mount wrap-around and 2x4 lay-in T8 fluorescent fixture type lighting with single level switching. Kitchen fixtures are in fair condition, providing an average illumination of 40-50 FC, thus overall less than the 50 FC recommended by the OSDM. The Kitchen spaces in the West House are equipped with 4- and 2-lamp (Serving) 2x4 lay-in fluorescent fixture type lighting with single level switching. Kitchen fixtures are in good condition, providing an average illumination of 28-35 FC, providing inadequate illumination based on OSDM's recommendation of 50 FC. The typical Administrative spaces in the overall facility are equipped with 2x4 lay-in T8 fluorescent fixture type lighting in good condition, providing adequate illumination based on OSDM requirements. PAC is provided with Quartz Halogen fixtures in the auditorium, and T8 fluorescent fixtures in other areas (via 2x4 and 1x4 fixtures). Incandescent fixtures are provided at make-up benches. Lights are in good condition, and there were no complaints on lighting levels in this addition. The overall lighting systems of the facility are not fully compliant with Ohio School Design Manual requirements due to age and condition, inadequate lighting levels, and lack of multi-level switching in some areas.

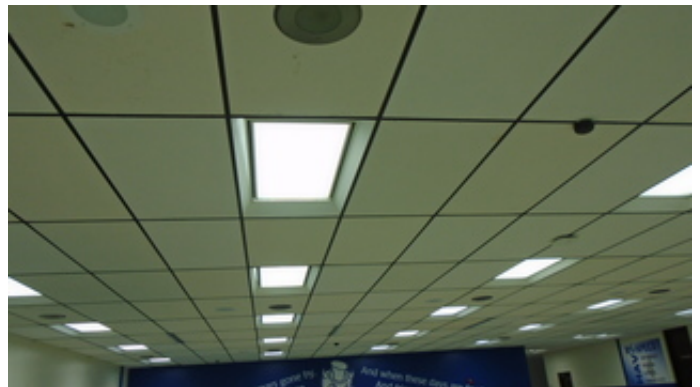
Rating: 3 Needs Replacement

Recommendations: Provide complete replacement of lighting system due to replacement of the HVAC System and/or addition of fire suppressions systems, except in PAC area.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
Complete Building Lighting Replacement	\$7.62	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$2,340,467.76	Includes demo of existing fixtures
Sum:			\$2,340,467.76	\$711,601.32	\$32,842.20	\$9,654.54	\$279,242.52	\$6,576.06	\$522,008.10	\$18,280.38	\$2,766.06	\$43,571.16	\$493,250.22	\$54,269.64	\$6,134.10	\$55,344.06	\$104,927.40	\$0.00	\$0.00	



Classroom light fixtures



Student dining light fixtures

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Facility Assessment

L. Security Systems

Description: The overall facility contains a security system with interior and exterior cameras, motion sensors, alarm system and access control at select entries. The security system is not adequately provided throughout, and the system is not fully compliant with Ohio School Design manual guidelines. Many of the existing devices are ceiling mounted and will be disturbed by system improvements. The exterior site lighting system is equipped with surface mounted entry and wall lights. Building mounted fixtures are typically dated at later additions. Parking areas are illuminated with pole lighting. The exterior site lighting system provides limited coverage of the site.

Rating: 3 Needs Replacement

Recommendations: Provide complete replacement of the security system to meet the Ohio School Design Manual guidelines and due to installation of systems outlined at Items K and U. Replace dated exterior fixtures and upgrade exterior site lighting. 3-19-19 RPC Update: Add a secure vestibule entrance to control visitor access into the building, per the recommendations of the Architect.

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 68,505 ft²	Original West Building Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments		
Security System:	\$3.34	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$1,107,366.98	complete, area of building)	
Exterior Site Lighting:	\$1.17	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$387,909.99	complete, area of building)
Other: SECURE VESTIBULE	\$250,000.00	allowance							Required												\$250,000.00	Provide modifications at main entrance in 1975 addition.	
Sum:			\$1,745,276.97	\$421,170.86	\$19,438.10	\$5,714.17	\$165,273.46	\$3,892.13	\$558,957.55	\$10,819.49	\$1,637.13	\$25,788.18	\$291,936.81	\$32,120.22	\$3,630.55	\$32,756.13	\$62,102.70	\$73,711.44	\$36,328.05				



Ceiling mounted cameras



Pole lights

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Facility Assessment

M. Emergency/Egress Lighting

Description: The overall facility is equipped with an emergency egress lighting system consisting of some OSDM compliant red lettered, cast aluminum construction, LED illuminated exit signs and emergency floodlighting. The system is in fair condition, and is generally not provided with appropriate battery backup. The system is not adequately provided throughout, and does not meet Ohio School Design Manual and Ohio Building Code requirements because it is not connected to an emergency generator.

Rating: 3 Needs Replacement

Recommendations: Provide complete replacement of emergency / egress lighting system to meet Ohio School Design Manual guidelines.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
Emergency/Egress Lighting:	\$1.17	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$387,909.99	complete area of building)
Sum:			\$387,909.99	\$109,261.62	\$5,042.70	\$1,482.39	\$42,875.82	\$1,009.71	\$80,150.85	\$2,806.83	\$424.71	\$6,690.06	\$75,735.27	\$8,332.74	\$941.85	\$8,497.71	\$16,110.90	\$19,122.46	\$9,424.35		



Exit/Emergency Combo



West House Gym Emergency Light and Exit Sign

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Facility Assessment

N. Fire Alarm

Description: The overall facility is equipped with a FCI 7200 Series fire alarm system, installed in 2001 and in fair condition, consisting of manual pull stations / bells / horn and strobe indicating devices, with the main Control Panel located in the Center House and satellite panels in the East House, the West House, and the PAC. The system is automatic and is monitored by a third party. Classrooms do not have audio/visual strobes. The PAC areas of the building are code-compliant, but if the remainder of the building fire alarm system is replaced, the devices in the PAC will require replacement as well to be compatible with the new system through out the building. The system is not fully compliant with Ohio Building Code, NFPA, and Ohio School Design Manual requirements.

Rating: 3 Needs Replacement

Recommendations: Provide new fire alarm system in all areas including the PAC, due to other system renovations, and to meet OBC, NFPA, and Ohio School Design Manual guidelines.

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 88,505 ft²	Original West Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments	
Fire Alarm System:	\$3.52	sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$1,167,045.44	complete new system, including removal of existing)
Sum:			\$1,167,045.44	\$328,718.72	\$15,171.20	\$4,459.84	\$128,993.92	\$3,037.76	\$241,137.60	\$8,444.48	\$1,277.76	\$20,127.36	\$227,853.12	\$25,069.44	\$2,833.60	\$25,565.76	\$48,470.40	\$57,530.88	\$28,353.60			



Fire alarm control panel



Fire alarm activation & notification devices

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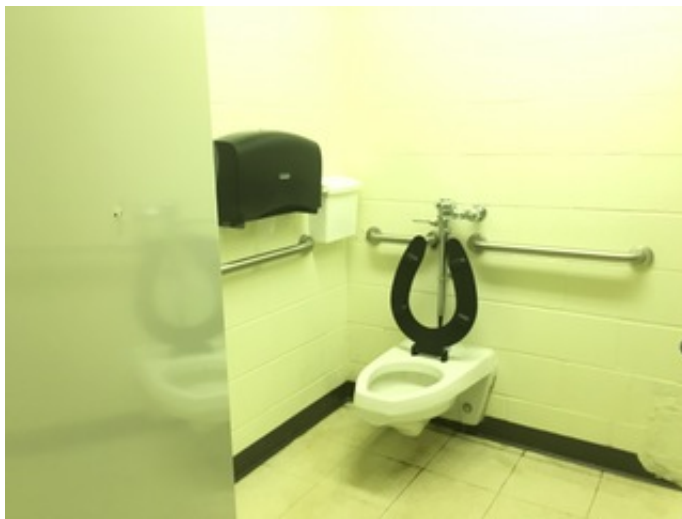
O. Handicapped Access

Description: There is not an accessible route connecting all areas of the site, but a path of travel is generally provided from accessible parking areas. A portion of the exterior entrances are not accessible due to pavement level changes exceeding accessibility requirements. Access from the main parking area to the main building entry is not compromised by steps. Adequate handicapped parking is not provided. The main entry to the complex is not equipped with an ADA power assist door. The exterior entrance/egress ramp at the 1981 East Classroom Addition is not provided with continuous handrail assembly and ramp pavement is deteriorated. Space allowances and reach ranges of the interior building are not compliant in all areas of the complex. There is an accessible route through the majority of Corridors and limited portion of spaces, but some areas/spaces/Classrooms are not accessible due to inadequate accessibility clearances and/or non-ADA compliant door hardware. The facility is primarily a one-story structure but access to the 1967 Gymnasium Mezzanine and instructional space Mezzanine at the 1970 Addition are only accessible by non-conforming stair assemblies. The stage at the 1975 Auditorium and tiered platform at the 1981 Music/Band Classroom are equipped with temporary/non-conforming ramps providing access to elevated floor levels. The tiered platform at the 1975 Music Classroom is not accessible. Many of the interior doors providing access to Classrooms or primary spaces are equipped with non-ADA compliant knob style hardware. A portion of Classroom doors are recessed, toilets and secondary space entrances are not provided with required maneuvering clearance or have narrow openings. Placement of lockers impedes side clearance at a portion of non-recessed door openings. A portion of toilet facilities have been renovated to provide accessible accommodations but do not fully conform to the provisions of the ADA or ANSI Guidelines in all areas. A portion of the modifications are incomplete or are an inappropriate application of the ADA Guidelines. All accessible toilets are lacking vertical grab bars at water closets and nearly all accessible lavatories do not provide insulation/protection at exposed piping. The location of flush valves at accessible water closets obstruct grab bar installation or grab bars are lacking in their entirety, in several areas. The majority of drinking fountains are not accessible and/or do not provide dual height accommodations. Mirrors and toilet accessories are often installed outside compliant reach ranges. ADA signage is not provided consistently throughout the overall complex. The 2002 PAC Addition is generally compliant with the provisions of the ADA/ANSI Guidelines and provides access throughout this building Addition. Doors are typically equipped with lever hardware and adequate maneuvering clearance. Toilet facilities were designed to provide accessible accommodations but are lacking vertical grab bars at all water closets. The facility is equipped with accessible drinking fountains that provide dual-height accommodation. Level changes within the Addition are facilitated by conforming ramps and a lift which provides access to the stage level. The ramp pavement surface at the exterior entrance/egress ramp has settled or was not properly graded and does not comply with landing and cross slope limitations.

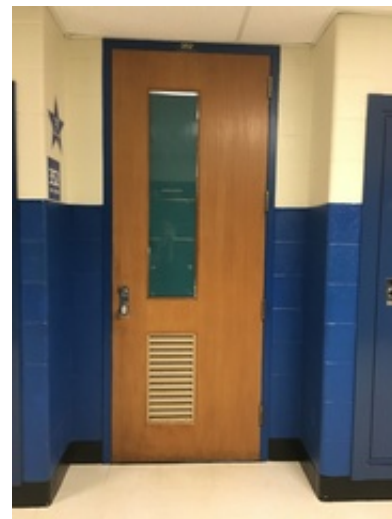
Rating: 3 Needs Replacement

Recommendations: Provide ADA compliant signage, power assist door opening, ramps, lifts, toilets, sinks, urinals, toilet partitions, toilet accessories mounted within reach range limitations, doors and frames and accessible hardware in the 1967 Original East Building, 1970 Addition, 1975 Original West Building, 1976 Addition and 1981 Additions to conform to the provisions of the ADA/ANSI Guideline requirements. Provide vertical grab bars at existing accessible water closets and new flush valves and grab bar assemblies at non-conforming accessible water closet assemblies. Insulate piping at non-conforming accessible lavatories. Provide vertical grab bars at all water closets at the 2002 PAC Addition. Refer to Plate H for funding for repair of the existing ramp assembly at the PAC Addition. Refer to Plate P for funding for replacement of exterior hand/guardrail assemblies and pavement repairs.

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 88,505 ft²	Original West Building Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments	
Signage:	\$0.23	Sq. ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	\$76,255.81	(per building area)	
Ramps:	\$46.91	Sq. ft. (Qty)							150 Required				165 Required								\$14,776.65	per ramp/interior-exterior complete)
Lifts:	\$17,590.50	unit			1 Required	1 Required		1 Required													\$52,771.50	complete)
Toilet/Urinals/Sinks:	\$4,456.26	unit		24 Required			5 Required		12 Required				9 Required	4 Required			5 Required	5 Required			\$285,200.64	(new ADA)
Toilet Partitions:	\$1,172.70	stall		5 Required			2 Required		4 Required				4 Required				2 Required	2 Required			\$22,281.30	ADA - grab bars, accessories included)
ADA Assist Door & Frame:	\$8,795.25	unit		1 Required																	\$8,795.25	openers, electrical, batching, etc)
Replace Doors:	\$1,524.51	leaf		120 Required	6 Required		31 Required	2 Required	106 Required	6 Required	2 Required		114 Required	12 Required			5 Required	36 Required			\$670,784.40	standard 3070 wood door, HM frame, door/light, includes hardware)
Replace Doors:	\$5,863.50	leaf		6 Required					14 Required												\$117,270.00	rework narrow opening to provide 3070 wood door, HM frame, door/light, includes hardware)
Replace Doors:	\$5,863.50	leaf		28 Required					2 Required												\$175,905.00	rework opening and corridor wall to accommodate ADA standards when door opening is set back from edge of corridor and cannot accommodate a wheelchair.)
Remount Restroom Mirrors to Handicapped Height:	\$334.22	per restroom							2 Required				3 Required								\$1,671.10	
Provide ADA Shower:	\$3,518.10	each		4 Required					4 Required												\$28,144.80	includes fixtures, walls, floor drain, and supply line of an existing locker room)
Provide Toilet Accessories:	\$1,172.70	per restroom		10 Required									6 Required	2 Required		2 Required					\$23,454.00	
Other: Insulate piping	\$250.00	allowance							Required				Required								\$500.00	insulate exposed piping
Other: Provide grab bars	\$500.00	allowance							Required				Required								\$1,000.00	Provide vertical/horizontal grab bars
Other: Repair ramp	\$2,500.00	allowance							Required					Required							\$5,000.00	Repair ramp curb and pavement and provide a continuous handrail/guardrail
Sum:				\$1,483,810.45	\$551,187.37	\$27,728.86	\$17,881.91	\$80,315.09	\$20,838.01	\$351,863.47	\$12,198.83	\$3,132.51	\$1,315.14	\$250,008.42	\$42,602.62	\$185.15	\$36,265.14	\$82,676.16	\$3,759.12	\$1,852.65		



Non-conforming water closet



Non-conforming recessed door

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Facility Assessment

P. Site Condition

Description: Brunswick High School is located in a suburban commercial area and is part of a multi-school campus. School buses load/unload along a separated drive that shares common points of ingress/egress with other vehicular traffic. There are separate and suitable locations available for parent drop-off. The existing concrete drive apron off Center Road is in poor condition. There is also concrete paving in a front service court in poor condition. Asphalt paving overall is in fair condition. The westernmost drive/parking & the large west lot in front of the school are in poor condition. The large rear parking lot appears to have never received a finish course of asphalt and has several settling utility trenches crossing it. There appears to be an adequate number of standard parking spaces but the east lot & the rear lot lack sufficient code-compliant accessible parking. Curb and concrete sidewalk are in fair to poor condition and existing curb ramps are not code compliant. New sidewalk is needed in a few locations to provide required connectivity and new handrails are needed along an access ramp at the rear of the building and 1981 Classroom Addition. There are no dumpster pads on the site. Existing catch basins which lie within paved areas need concrete collars. Site drainage appears adequate.

Rating: 2 Needs Repair

Recommendations: The existing concrete drive apron off Center Road should be replaced. Asphalt paving in the front west loop, west entrance drive, east parking lot, service drive & rear parking lot should be overlaid. Parking along the front west loop, the east drop off lane, the south parking lot and the east entrance drive should be milled and overlaid. Full depth repair should be provided as needed, ranging from 5% to 40% of the overall surface area. The west front parking lot and the drive and parking along the west end of the school should be fully replaced. In conjunction with the re-striping following pavement overlay, 3 additional ADA parking spaces should be added to the east lot and 8 ADA parking spaces should be provided in the rear lot, including striping and signage. Damaged or failing curb & sidewalk should be replaced; and ramps and detectable warnings should be provided at appropriate locations. Sidewalk should also be added as needed to for connectivity. Dumpster pads should be installed and concrete collars should be provided at all catch basins in asphalt pavement. 3-19-19 RPC Update: Per the Architect's Challenge Report, adjust the square yards for the heavy duty, light duty and new wearing course.

Item	Cost	Unit	Whole Building	Original Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 68,505 ft²	Original West Building Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments	
Replace Existing Asphalt Paving (heavy duty):	\$35.88	sq. yard		8,126 Required	290 Required	290 Required	3,192 Required	319 Required	5,779 Required	203 Required	58 Required	493 Required	5,659 Required	580 Required	58 Required	609 Required	1,161 Required	1,451 Required	726 Required	\$1,040,304.72	(including drainage / tear out for heavy duty asphalt)	
Replace Existing Asphalt Paving (light duty):	\$33.54	sq. yard		5,311 Required	189 Required	189 Required	2,086 Required	208 Required	3,793 Required	132 Required	37 Required	322 Required	3,698 Required	379 Required	45 Required	398 Required	758 Required	948 Required	474 Required	\$636,153.18	(including drainage / tear out for light duty asphalt)	
Asphalt Paving / New Wearing Course:	\$22.28	sq. yard		7,323 Required	261 Required	261 Required	2,877 Required	287 Required	5,231 Required	183 Required	52 Required	444 Required	5,100 Required	523 Required	52 Required	549 Required	1,046 Required	11,307 Required	654 Required	\$805,422.00	(includes minor crack repair in less than 5% of paved area)	
Bus Drop-Off for High	\$80.62	per student		2,226 Required																\$179,460.12	Number of students should be rounded up to the nearest 100. 40 students per bus; 50% of high school students riding (new)	
Concrete Curb:	\$37.53	ln.ft.		500 Required	23 Required	7 Required	197 Required	5 Required	367 Required	13 Required	2 Required	31 Required	347 Required	39 Required	5 Required	39 Required	74 Required	137 Required	39 Required	\$68,492.25		
Concrete Sidewalk:	\$8.80	sq.ft. (City)			622 Required	448 Required	2,474 Required	425 Required	4,299 Required	513 Required	396 Required	703 Required	4,083 Required	783 Required	422 Required	416 Required	1,164 Required	1,836 Required	791 Required	\$170,500.00	5 inch exterior slab)	
Exterior Hand / Guard Rails:	\$50.43	ln.ft.		100 Required											100 Required					\$10,086.00		
Provide Exterior Parking Lot Catch Basin:	\$2,931.75	each		4 Required																\$11,727.00		
Provide Concrete Dumpster Pad:	\$2,814.48	each		3 Required																\$8,443.44	(for two dumpsters)	
Base Sitework Allowance for Unforeseen Circumstances	\$50,000.00	allowance		Required																\$50,000.00	Include this and one of the next two. (Applies for whole building, so only one addition should have this item)	
Sitework Allowance for Unforeseen Circumstances for buildings 100,000 SF or larger	\$150,000.00	allowance		Required																\$150,000.00	Include this one or the previous. (Applies for whole building, so only one addition should have this item)	
Other: ADA Parking Space	\$1,000.00	per unit		11 Required																\$11,000.00	required	
Other: Concrete Pavement	\$70.00	sq. yard		193 Required	9 Required	3 Required	76 Required	2 Required	141 Required	5 Required	1 Required	12 Required	134 Required	15 Required	2 Required	15 Required	29 Required	53 Required	15 Required	\$49,350.00	apron & service areas	
Other: Concrete structure collar	\$1,200.00	per unit		15 Required																\$18,000.00	required	
Other: Pavement Milling	\$21.00	sq. yard		1,580 Required	73 Required	22 Required	320 Required	15 Required	1,159 Required	41 Required	7 Required	97 Required	1,095 Required	121 Required	14 Required	123 Required	233 Required	432 Required	123 Required	\$120,855.00	required	
Other: Provide detectable warnings	\$500.00	per unit		8 Required																\$4,000.00	required	
Other: Provide Storm Retention Basin	\$35,000.00	allowance		Required																\$35,000.00	Provide Storm Retention Basin	
Other: Replace Storm Piping	\$45,000.00	allowance		Required																\$45,000.00	Replace Storm Piping	
Other: Site ADA Ramps	\$1,000.00	per unit		14 Required																\$14,000.00	required	
Sum:				\$3,427,793.71	\$1,229,976.82	\$31,059.13	\$27,436.45	\$296,097.57	\$29,199.05	\$536,928.13	\$22,001.45	\$8,257.44	\$48,607.87	\$522,032.15	\$57,119.57	\$14,127.15	\$56,189.03	\$110,328.30	\$369,858.17	\$68,575.43		



Front/west lot pavement damage



Rear east courtyard walk damage

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Facility Assessment

Q. Sewage System

Description: The sanitary sewer system is tied in to the city system, and is in good condition. No significant system deficiencies were reported by the school district or noted during the physical assessment.

Rating: 1 Satisfactory

Recommendations: Existing conditions require no renovation or replacement at the present time.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
				93,386 ft ²	4,310 ft ²	1,267 ft ²	36,646 ft ²	863 ft ²	68,505 ft ²	2,399 ft ²	363 ft ²	5,718 ft ²	64,731 ft ²	7,122 ft ²	805 ft ²	7,263 ft ²	13,770 ft ²	16,344 ft ²	8,055 ft ²		
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



Cleanout



Cleanout

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Facility Assessment

R. Water Supply

Description: The domestic water supply system is tied in to the municipal system, features 4-inch service and 4-inch water meter, and is in good condition. The existing domestic water service does meet the facility's current needs. The facility is not equipped with an automated fire suppression system, and the existing water supply will not provide adequate support for a future system. The domestic water service is not equipped with a water booster pump. The system does not provide adequate pressure and capacity for the future needs of the school. PAC is provided with a dedicated water supply and a dedicated fire suppression supply, which are adequate for that addition.

Rating: 1 Satisfactory

Recommendations: Provide a new city water supply line of adequate capacity to support the existing needs of the facility, as well as a future automated fire suppression system. Funding provided in Item U. Water supply to the PAC is adequate (verify BFP).

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Wing Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Seating (2002)	Sum	Comments
				93,386 ft ²	4,310 ft ²	1,267 ft ²	36,646 ft ²	863 ft ²	68,505 ft ²	2,399 ft ²	363 ft ²	5,718 ft ²	64,731 ft ²	7,122 ft ²	805 ft ²	7,263 ft ²	13,770 ft ²	16,344 ft ²	8,055 ft ²		
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



BFP branch water supply



Main water BFP

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Facility Assessment

S. Exterior Doors

Description: Typical exterior doors at the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions are a combination of aluminum entry systems, FRP and steel hollow metal construction installed on aluminum and hollow metal frames. Many of the exterior door assemblies are not thermally efficient and feature single pane uninsulated glazing inclusive of newly renovated FRP door panels. The exterior doors at the 2002 PAC Addition are a combination of aluminum entry systems and insulated hollow metal construction installed on aluminum and hollow metal frames. Typical exterior doors feature dual glazed vision panels. The majority of the door assemblies are in satisfactory condition. The 1967 Building contains an overhead door assembly. The assembly is dented and in fair condition.

Rating: 3 Needs Replacement

Recommendations: Replace all exterior, deteriorated and damaged and thermally inefficient doors at the 1967 Original Building, 1970 Addition, 1975 Addition, and 1981 Additions inclusive of the overhead door assembly. Existing conditions at the 2002 PAC Addition require no repair or replacement at the current time. 5-15-19 RPC Update: Replace fire doors that were removed per the EEHA report.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments	
Door Leaf/Frame and Hardware:	\$2,931.75	per leaf		6 Required	14 Required		12 Required		12 Required			2 Required	12 Required	6 Required		6 Required					\$205,222.50	(includes removal of existing)
Overhead doors and hardware:	\$4,104.45	per leaf		1 Required																	\$4,104.45	(8 x 10 sectional, manual operation)
Fire Door Replacement	\$1,289.97	each		10 Required	5 Required				10 Required	1 Required		1 Required	10 Required			4 Required	4 Required				\$58,048.65	(Hazardous Material Replacement Cost - See T.)
Sum:			\$267,375.60	\$34,594.65	\$47,494.35	\$0.00	\$35,181.00	\$0.00	\$48,080.70	\$1,289.97	\$0.00	\$7,153.47	\$48,080.70	\$17,590.50	\$0.00	\$22,750.38	\$5,159.88	\$0.00	\$0.00			



Typical door



Typical door

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Facility Assessment

T. Hazardous Material

Description: The School District provided the AHERA 6-Month Asbestos Surveillance Report, prepared by Brumbaugh-Henrick Inc., dated June 2, 2016, documenting known and assumed locations of asbestos and other hazardous materials at the 1967 Original East Building, 1970 Addition, 1975 Original West Building and 1981 Additions. The report does not identify the quantities of the known or suspected hazardous containing materials. The 2002 PAC Addition is not reported to contain asbestos and other hazardous materials. Enhanced Environmental Assessment (EEA) will need to be performed by OSFC EEA Consultant to establish final scope and budget.

Rating: 3 Needs Replacement

Recommendations: Remove all hazardous materials, inclusive of asbestos-containing materials in the overall facility, as noted in the attached Environmental Hazardous Assessment. The values/quantities of hazardous materials identified are based upon prior assessment reports since current hazardous material assessment reports were not available. Independent Enhanced Environmental Assessment Consultant to determine final scope and budget.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Mezzanine (1981)	West Wing Addition (1981)	West Wing Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments	
<i>Environmental Hazards Form</i>				EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	EEHA Form	—	
Estimated Cost For Abatement Contractor to Perform Lead Mock-Ups	\$1.17	per unit		5,000 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$5,850.00	
Special Engineering Fees for LBP Mock-Ups	\$1.17	per unit		5,000 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$5,850.00	
Fluorescent Lamps & Ballasts Recycling/Incineration	\$0.12	sq.ft. (Qty)		93,386 Required	4,310 Required	1,267 Required	36,646 Required	863 Required	68,505 Required	2,399 Required	363 Required	5,718 Required	64,731 Required	7,122 Required	805 Required	7,263 Required	13,770 Required	16,344 Required	8,055 Required	\$39,785.64		
Pipe Fitting Insulation Removal	\$29.32	each		500 Required	50 Required	0 Required	0 Required	200 Required	5 Required	0 Required	5 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$22,283.20	
Pipe Fitting Insulation Removal (Crawlspace/Tunnel)	\$41.04	each		100 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$4,104.00	
Pipe Insulation Removal (Hidden in Walls/Ceilings)	\$22.28	sq.ft.		1,868 Required	0 Required	0 Required	733 Required	0 Required	1,370 Required	48 Required	0 Required	115 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$92,105.52	
Dismantling of Boiler/Furnace/Incinerator	\$2,345.40	each		5 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$11,727.00	
Flexible Duct Connection Removal	\$117.27	each		15 Required	0 Required	0 Required	0 Required	35 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$5,863.50	
Gypsum Board Removal	\$7.04	sq.ft. (Qty)		3,500 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	2,000 Required	0 Required	0 Required	0 Required	\$38,720.00	See J
Laboratory Table/Counter Top Removal	\$117.27	each		40 Required	0 Required	0 Required	0 Required	90 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$15,245.10	See J
Cement Board Removal	\$5.86	sq.ft. (Qty)		50 Required	0 Required	0 Required	0 Required	200 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$1,465.00	
Fire Door Removal	\$117.27	each		10 Required	5 Required	0 Required	0 Required	10 Required	1 Required	0 Required	1 Required	10 Required	0 Required	0 Required	0 Required	4 Required	4 Required	0 Required	0 Required	0 Required	\$5,277.15	See S
Door and Window Panel Removal	\$117.27	each		0 Required	0 Required	0 Required	0 Required	45 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	10 Required	40 Required	0 Required	0 Required	0 Required	\$11,140.65	See J & F
Decontamination of Crawlspace/Chase/Tunnel	\$3.52	sq.ft. (Qty)		1,000 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$3,520.00	
Non-ACM Ceiling/Wall Removal (for access)	\$2.35	sq.ft. (Qty)		7,502 Required	0 Required	0 Required	2,932 Required	0 Required	5,408 Required	192 Required	0 Required	460 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$38,760.90	See J
Resilient Flooring Removal, Including Mastic	\$3.52	sq.ft. (Qty)		35,000 Required	50 Required	0 Required	12,500 Required	0 Required	22,000 Required	0 Required	0 Required	5,500 Required	2,180 Required	0 Required	2,800 Required	6,000 Required	0 Required	0 Required	0 Required	0 Required	\$302,825.60	See J
Acoustical Tile Mastic Removal	\$3.52	sq.ft. (Qty)		0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	60 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	\$211.20	
Sink Undercoating Removal	\$117.27	each		10 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	0 Required	1 Required	0 Required	0 Required	0 Required	\$1,289.97	
Other: EHA ACM Other	\$1.00	per unit		10,000 Required																	\$10,000.00	Chalkboards
Other: EHA ACM Other	\$1.00	per unit					6,000 Required														\$6,000.00	Chalkboards
Other: EHA ACM Other	\$1.00	per unit										7,000 Required									\$7,000.00	Chalkboards
Other: EHA ACM Other	\$1.00	per unit											1,500 Required								\$1,500.00	Chalkboards
Other: EHA ACM Other	\$1.00	per unit												1,500 Required							\$1,500.00	Chalkboards
Other: EHA ACM Other	\$1.00	per unit						25,000 Required													\$25,000.00	Duct Mastic
Other: EHA ACM Other	\$1.00	per unit													1,500 Required						\$1,500.00	Duct Mastic
Other: EHA ACM Other	\$1.00	per unit														2,000 Required					\$2,000.00	Duct Mastic
Other: EHA ACM Other	\$1.00	per unit		20,000 Required																	\$20,000.00	Other Air Handlers
Other: EHA ACM Other	\$1.00	per unit						25,000 Required													\$25,000.00	Other Air Handlers
Other: EHA Other Hazard	\$1.00	per unit		10,000 Required																	\$10,000.00	Radioactive Exit Signs
Sum:			\$715,524.43	\$13,094.31	\$2,745.55	\$152.04	\$77,618.96	\$103.56	\$207,037.60	\$2,072.39	\$43.56	\$4,593.23	\$35,300.42	\$10,239.44	\$96.60	\$15,369.34	\$44,129.55	\$1,961.28	\$966.60			



9" VAT



12" VAT

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Facility Assessment

U. Life Safety

Description: The overall facility is not equipped with a compliant automated fire suppression system, except at the PAC. The Kitchen hood is in good condition, and is equipped with the required UL 300-compliant wet chemical fire suppression system. The required 6-inch overhang of the cooking equipment is provided by the hood. Kitchen hood exhaust ductwork is of proper construction / material / insulation / and/or installed as required by the Ohio School Design Manual (OSDM) and Ohio Building Code Mechanical Code (OBCMC). The facility is not equipped with an emergency generator. The existing water supply is provided by a tie-in to the municipal system, and is insufficient to meet the future fire suppression needs of the school. The facility is equipped with non-conforming guardrail assemblies at the mezzanine stairs.

Rating: 3 Needs Replacement

Recommendations: Provide new automated fire suppression system to meet OSDM guidelines. Provide increased water service of a capacity sufficient to support the fire suppression system, funding included in fire suppression funding. Provide an emergency generator, funding provided at plate D. Existing conditions at the 2002 PAC Addition requires no renovation or repair at the current time. Provide new guardrail assemblies to conform to the provisions of the OBC and accessibility requirements.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
Sprinkler / Fire Suppression System:	\$4.40	sq.ft. (Qty)		93,386 Required	4,310 Required	1,267 Required	38,646 Required	863 Required	68,505 Required	2,399 Required	363 Required	5,718 Required	64,731 Required	7,122 Required	805 Required	7,263 Required	13,770 Required			\$1,360,251.20	includes increase of service piping, if required
Water Main	\$58.64	in.ft.		1,000 Required																\$58,640.00	(new)
Handrails:	\$5,863.50	level				2 Required		1 Required												\$17,590.50	
Other: Backflow Preventer	\$5,000.00	per unit		1 Required																\$5,000.00	Backflow Preventer
Sum:			\$1,441,481.70	\$474,538.40	\$18,964.00	\$17,301.80	\$170,042.40	\$9,660.70	\$301,422.00	\$10,555.60	\$1,597.20	\$25,159.20	\$284,816.40	\$31,336.80	\$3,542.00	\$31,957.20	\$60,588.00	\$0.00	\$0.00		



Suppression head



2011 Suppression system

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Facility Assessment

V. Loose Furnishings

Description: The typical Classroom furniture at the Original Building is a combination of newer and dated furnishings, and in generally fair to good condition. The facility's furniture and loose equipment were evaluated in Item 6.17 in the CEFPI section of this report, and on a scale of 1 to 10 the overall facility received a rating of 7 due to observed conditions.

Rating: 3 Needs Replacement

Recommendations: Provide for replacement of outdated or inadequate furniture. 3-19-19 RPC Update: Replace the furnishings in the 1981 West Wing Addition, per the recommendations from the District's Architect.

Item	Cost	Unit	Whole Building	Original East Building (1967) 93,386 ft²	Original East Building Gym. Mezzanine (1967) 4,310 ft²	Original East Building I.S. Mezzanine (1967) 1,267 ft²	East Wing Addition (1970) 36,646 ft²	East Wing Addition I.S. Mezzanine (1970) 863 ft²	Original West Building (1975) 88,505 ft²	Original West Building Auditorium (1975) 2,399 ft²	Original West Building Greenhouse (1975) 363 ft²	East Weight Room Addition (1976) 5,718 ft²	Center Building Addition (1981) 64,731 ft²	East Classroom Addition (1981) 7,122 ft²	East Classroom Addition Mezzanine (1981) 805 ft²	West Wing Addition (1981) 7,263 ft²	West Wing Addition Board Offices (1981) 13,770 ft²	Performing Arts Center (2002) 16,344 ft²	Performing Arts Center Seating (2002) 8,055 ft²	Sum	Comments
CEFP Rating 0 to 3	\$7.62	sq.ft. (of entire building addition)		Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required	Required			\$2,340,467.76	
Sum:			\$2,340,467.76	\$711,601.32	\$32,842.20	\$9,654.54	\$279,242.52	\$6,576.06	\$522,008.10	\$18,280.38	\$2,766.06	\$43,571.16	\$493,250.22	\$54,269.64	\$6,134.10	\$55,344.06	\$104,927.40	\$0.00	\$0.00		



Classroom furniture



Classroom furniture

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Facility Assessment

W. Technology

Description: The typical Classrooms at the overall complex are equipped with interactive white boards, projectors, 2-way PA system and central dock system. Data ports are provided at classrooms but appear abandoned where technology connections are provided by wireless access.

Rating: 3 Needs Replacement

Recommendations: Provide complete replacement throughout the complex of technology systems to meet Ohio School Design Manual requirements, and to sustain the capacity to keep pace with technological development.

Item	Cost	Unit	Whole Building	Original East Building (1967)	Original East Building Gym. Mezzanine (1967)	Original East Building I.S. Mezzanine (1967)	East Wing Addition (1970)	East Wing Addition I.S. Mezzanine (1970)	Original West Building (1975)	Original West Building Auditorium (1975)	Original West Building Greenhouse (1975)	East Weight Room Addition (1976)	Center Building Addition (1981)	East Classroom Addition (1981)	East Classroom Addition Mezzanine (1981)	West Wing Addition (1981)	West Wing Addition Board Offices (1981)	Performing Arts Center (2002)	Performing Arts Center Seating (2002)	Sum	Comments
HS portion of building with total SF > 200,400	\$9.38	sq.ft. (Qty)		93,386 Required	4,310 Required	1,267 Required	36,646 Required	863 Required	68,505 Required	2,399 Required	363 Required	5,718 Required	64,731 Required	7,122 Required	805 Required	7,263 Required	13,770 Required	16,344 Required	8,055 Required	\$3,109,910.86	
Sum:			\$3,109,910.86	\$875,960.68	\$40,427.80	\$11,884.46	\$343,739.48	\$8,094.94	\$642,576.90	\$22,502.62	\$3,404.94	\$53,634.84	\$607,176.78	\$66,804.36	\$7,550.90	\$68,126.94	\$129,162.60	\$153,306.72	\$75,555.90		



Interactive display board



Projector

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X. Construction Contingency / Non-Construction Cost

Renovation Costs (A-W)		\$67,987,122.86
7.00%	Construction Contingency	\$4,759,098.60
Subtotal		\$72,746,221.46
16.29%	Non-Construction Costs	\$11,850,359.48
Total Project		\$84,596,580.94

Construction Contingency	\$4,759,098.60
Non-Construction Costs	\$11,850,359.48
Total for X.	\$16,609,458.08

Non-Construction Costs Breakdown		
Land Survey	0.03%	\$21,823.87
Soil Borings / Phase I Envir. Report	0.10%	\$72,746.22
Agency Approval Fees (Bldg. Code)	0.25%	\$181,865.55
Construction Testing	0.40%	\$290,984.89
Printing - Bid Documents	0.15%	\$109,119.33
Advertising for Bids	0.02%	\$14,549.24
Builder's Risk Insurance	0.12%	\$87,295.47
Design Professional's Compensation	7.50%	\$5,455,966.61
CM Compensation	6.00%	\$4,364,773.29
Commissioning	0.60%	\$436,477.33
Non-Construction Contingency (includes partnering and mediation services)	1.12%	\$814,757.68
Total Non-Construction Costs	16.29%	\$11,850,359.48

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School Facility Appraisal - Brunswick City

Name of Appraiser	Monica Bruaw	Date of Appraisal	2016-07-13
Building Name	Brunswick High		
Street Address	3581 Center Rd		
City/Town, State, Zip Code	Brunswick, OH 44212		
Telephone Number(s)	330-273-0230		
School District	Brunswick City		

Setting: Suburban

Site-Acreage	86.26	Building Square Footage	331,547
Grades Housed	9-12	Student Capacity	1,888
Number of Teaching Stations	128	Number of Floors	1
Student Enrollment	2226		
Dates of Construction	1967,1967,1967,1970,1970,1975,1975,1975,1976,1981,1981,1981,1981,1981,2002,2002		

Energy Sources:	<input type="checkbox"/> Fuel Oil	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Electric	<input type="checkbox"/> Solar
Air Conditioning:	<input type="checkbox"/> Roof Top	<input type="checkbox"/> Windows Units	<input checked="" type="checkbox"/> Central	<input type="checkbox"/> Room Units
Heating:	<input checked="" type="checkbox"/> Central	<input type="checkbox"/> Roof Top	<input type="checkbox"/> Individual Unit	<input type="checkbox"/> Forced Air
	<input checked="" type="checkbox"/> Hot Water	<input type="checkbox"/> Steam		

Type of Construction

- Load bearing masonry
- Steel frame
- Concrete frame
- Wood
- Steel Joists

Exterior Surfacing

- Brick
- Stucco
- Metal
- Wood
- Stone

Floor Construction

- Wood Joists
- Steel Joists
- Slab on grade
- Structural slab

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LEED Observation Notes

School District: Brunswick City
County: Medina
School District IRN: 43661
Building: Brunswick High
Building IRN: 3970

Sustainable Sites

Construction process can have a harmful effect on local ecology, especially when buildings are build on productive agricultural, wildlife or open areas. Several measures can be take however to prevent the impact on undeveloped lands or to improve previously contaminated sites. Appropriate location reduces the need for private transportation and helps to prevent an increase in air pollution. Developing buildings in urban areas and on brownfield sites instead of greenfield locations has economical and environmental benefits. Controlling stormwater runoff and erosion can prevent the worsening of water quality in receiving bodies of water and the impact on aquatic life. Once the building is constructed, it's important to decrease heat island effects and reduce the light pollution on the site.

(source: LEED Reference Guide, 2001:9)

Water Efficiency

In the US ca. 340 billion gallons of fresh water are withdrawn daily from surface sources, 65% of which is discharged later after use. Water is also withdrawn from underground aquifers The excessive usage of water results in the current water deficit, estimated at 3,700 billion gallons. Water efficiency measures in commercial buildings can reduce water usage by at least 30%. Low-flow fixtures, sensors or using non potable water for landscape irrigation, toilet flushing and building systems are just some of available strategies. Not only do they result in environmental savings, but also bring about financial benefits, related to lower water use fees, lower sewage volumes to treat and energy use reductions.

(source: LEED Reference Guide, 2001:65)

Energy & Atmosphere

Buildings in the US account for more than 30% of the total energy use and for approximately 60% of electricity. 75% of energy is derived from the burning of fossil fuels, which releases CO2 into the Atmosphere and contributes to global warming. Moreover, coal fired electric utilities release nitrogen oxides and sulfur dioxide, where the former contribute to smog and the latter to acid rain. Other types of energy production are not less harmful. Burning of natural gas produces nitrogen oxides and greenhouse gases as well, nuclear power creates nuclear wastes, while hydroelectric generating plants disrupt natural water flows. Luckily there are several practices that can reduce energy consumption and are environmentally and economically beneficial. Not only will they reduce the air pollution and mitigate global warming thanks to being less dependent on power plants, but also they will reduce operational costs and will quickly pay back. In order to make the most of those practices, it's important to adopt a holistic approach to the building's energy load and integrate different energy saving strategies.

(source: LEED Reference Guide, 2001:93)

Material & Resources

The steps related to process building materials, such as extraction, processing and transportation are not environmentally natural, as they pollute the air, water and use natural resources. Construction and demolition wastes account for 40% of the solid waste stream in the US. Reusing existing documents is one of the best strategies to reduce solid wastes volumes and prevents them from ending up at landfills. It also reduces habitat disturbance and minimizes the need for the surrounding infrastructure. While using new materials one should take into account different material sources. Salvaged materials provide savings on material costs, recycled content material minimizes waste products and local materials reduce the environmental impact of transportation. Finally, using rapidly renewable materials and certified wood decreases the consumption of natural resources. Recycling and reusing construction waste is another strategy to be taken into consideration in sustainable design.

(source: LEED Reference Guide, 2001:167)

Indoor Environmental Quality

As we spend a big majority of our time indoors, the emphasis should be put on optimal indoor environmental quality strategies while (re)designing a building . Otherwise, a poor IEQ will have adverse effects on occupants' health, productivity and quality of life. IEQ strategies such as ventilation effectiveness and control of contaminants or a building flush-out prior to occupancy can reduce potential liability, increase the market value of the building but can also result in a significantly higher productivity (16%). Other strategies involve automatic sensors and controls, introducing fresh air to the building or providing lots of daylighting views.

(source: LEED Reference Guide, 2001:215)

Innovation & Design Process

This category is aimed at recognizing projects that implemented innovative building features and sustainable building knowledge, and whose strategy or measure results exceeded those which are required by the LEED Rating System. Expertise in sustainable design is the key element of the innovative design and construction process.

(source: LEED Reference Guide, 2001:271)

Environmental Hazards Assessment Cost Estimates

Owner:	Brunswick City
Facility:	Brunswick High
Date of Initial Assessment:	Jul 13, 2016
Date of Assessment Update:	Jun 18, 2019
Cost Set:	2022

District IRN:	43661
Building IRN:	3970
Firm:	Regency Construction Services, Inc. (formerly PCS/Regency)

Scope remains unchanged after cost updates.

Building Addition	Addition Area (sf)	Total of Environmental Hazards Assessment Cost Estimates	
		Renovation	Demolition
1967 Original East Building	93,386	\$382,594.31	\$370,894.31
1967 Original East Building Gym. Mezzanine	4,310	\$2,745.55	\$2,745.55
1967 Original East Building I.S. Mezzanine	1,267	\$152.04	\$152.04
1970 East Wing Addition	36,646	\$71,618.96	\$71,618.96
1970 East Wing Addition I.S. Mezzanine	863	\$103.56	\$103.56
1975 Original West Building	68,505	\$157,037.60	\$157,037.60
1975 Original West Building Auditorum	2,399	\$2,072.39	\$2,072.39
1975 Original West Building Greenhouse	363	\$43.56	\$43.56
1976 East Weight Room Addition	5,718	\$4,593.23	\$4,593.23
1981 Center Building Addition	64,731	\$28,300.42	\$28,300.42
1981 East Classroom Addition	7,122	\$8,739.44	\$8,739.44
1981 East Classroom Addition Mezzanine	805	\$96.60	\$96.60
1981 West Wing Addition	7,263	\$12,369.34	\$12,369.34
1981 West Wing Addition Board Offices	13,770	\$42,129.55	\$42,129.55
2002 Performing Arts Center	16,344	\$1,961.28	\$1,961.28
2002 Performing Arts Center Seating	8,055	\$966.60	\$966.60
Total	331,547	\$715,524.43	\$703,824.43
Total with Regional Cost Factor (110.06%)	—	\$787,506.19	\$774,629.17
Regional Total with Soft Costs & Contingency	—	\$979,896.31	\$963,873.40

